Our Ref: 239971
Council Ref: DA/2022/00538

13 October 2022

City of Newcastle
12 Stewart Avenue
PO Box 489
Newcastle NSW 2300

ATTENTION: GARETH SIMPSON

Dear Gareth,

RE: DA/2022/00538 - COMMERCIAL PREMISES & SHOP TOP HOUSING DEVELOPMENT LOT 1 DP 1166015 - 643 HUNTER STREET, NEWCASTLE WEST

Please accept this submission as our formal response to the further comments provided by City of Newcastle's internal referral responses to DA2022/00538 via email on the 14th September 2022.

It is requested that the amended plans and documentation enclosed with this response are accepted as amended particulars as provided for by Section 37 of the *Environmental Planning and Assessment Regulation 2021* and replace those previously provided to Council.

Response

The following table provides a response prepared by Indesco in relation to each of the stormwater and flooding comments provided by Council:

2.1 NDCP 2012 - Council Comment	Response
Floor levels of any occupiable rooms in a new development on this site shall not be lower than the flood planning level (2.90m AHD).	Retail sites are designed to FPL, all residential are located above the ground floor (2.90 AHD) **Refer to 7330-01-047 flood evacuation ground floor.**
On-site car parking floor levels are set no lower than the 1% Annual Exceedance Probability flood level (2.40m AHD).	The proposed ground floor commercial and ground floor parking areas are set at the flood planning level (2.90m AHD).
On-site flood refuge is to be provided at or above the PMF level (4.20m AHD). This flood refuge shall cater for the number of people	Retail sites are designed to FPL, all residential are located above the ground floor (2.90 AHD)

2.1 NDCP 2012 - Council Comment	Response
reasonably expected on the development site and be provided with emergency lighting.	**Refer to 7330-01-047 flood evacuation ground floor** which shows the path of travel for refuge during PMF. The first floor, being situated at 5.90m AHD, is suitable for on-site flood refuge during the PMF (4.20m AHD) provided the structure is designed and constructed to withstand hydraulic forces generated during such an event.
2.2 Flood Storage – Council Comment	**Response**
The development does not address NDCP requirements for flood storage preservation. The submitted SEE acknowledges "the subject site is identified as a Flood Control Lot" but erroneously states that "the site is not affected by a floodway or a flood storage area."	As a requirement of Section 4.01 of the Newcastle Development Control Plan (NDCP), any development on the site shall not fill more than 20% of the allotment area. Cut and fill plans have been submitted showing that the site will not reduce the total storage available in the PMF event by more than 20%.
Calculations are to be included for natural and post-development flood storage volumes within the site during the Probable Maximum Flood event. Displacement exceeding 20% of the natural storage volume over the site may be addressed through the provision of compensatory on-site storage.	Calculations have been provided on the PMF Storage drawings (Refer to 7330-01-040/041).
2.3 Flood Evacuation Routes – Council Comment	**Response**
Building occupants in the ground floor commercial tenancies and residential lobby must be provided with a self-evident route to on-site refuge elevated no lower than 4.20m AHD. The Applicant is requested to provide a brief outline of refuges available to each tenancy and indicate the route of evacuation to these refuges on development plans. *To facilitate access to the proposed commercial waste collection room, and also shorten evacuation routes, the Applicant may consider the provision of pedestrian access direct from each commercial tenancy to adjoining fire passageways.*	Flood Evacuation path of travel has been indicated on plans. Refuge from PMF is accessible for each commercial tenant and path of travel is shown on plans (refer to drawing 7330-01-047).
1.0 Stormwater Management – Council Comment	**Response**
The development proposes the construction of a mixed-use multistorey building including	Rainwater tank increased to the total 52kL on-site storage.

2.1 NDCP 2012 - Council Comment	Response
ground floor commercial, multistorey parking, and 16 storeys of residential units comprising 106 apartments. Roof rainwater is conveyed to a 27,000L retention and reuse tank which will overflow to an existing kerb inlet pit (SW0023504) in Hunter Street.	
3.1 Green Roof Design – Council Comment	**Response**
Calculations included in the submitted stormwater management plan indicate the development will be only 55% impervious despite the proposed building occupying 100% of the allotment area. It appears the proposed podium landscaping areas have been counted as being permeable.	Site is now considered 100% impervious with different rates applied to podium planting.
Green roof and podium landscaping designs are not generally considered "permeable" for the purposes of on-site storage calculations as these have no connection to the ground surface thus any retained water that is not lost to evapotranspiration must ultimately be disposed as development stormwater discharge to the public drainage system. *It is recognised that green roofs absorb and retain incident rainfall, which has the effect of delaying and reducing peak discharge of runoff (Department of Environment & Primary Industries 2014). However, this absorption rate is limited and can become overwhelmed during heavier (>6mm) rain events (Van Woert et al. 2005).*	Refer to above comment.
To account for the retention benefit of green roofs during minor storm events, NDCP controls can be relaxed to require the on-site storage of stormwater for only 12mm of rainfall over all green roof areas, and 25mm (for 100% impervious development) over all other impervious areas. The Applicant is requested to provide a catchment map of the development identifying all roof, unroofed impervious and green roof areas. Typical cross-sections are to be provided for the proposed green roof areas. Additional on-site storage will likely be required in the form of a retention tank.	Green roof retentions have been considered. A catchment map has been provided (Refer to sheet 7330-01-006) as well as Typical cross section details (Refer to sheet 7330-01-007).

2.1 NDCP 2012 - Council Comment	Response
It is generally understood that stormwater passing through green roof systems can increase the level of total phosphorous and total nitrogen in stormwater (Alim et al. 2021). This increase is dependent on the use of fertilisers, substrate materials, and selection of planting. As such, any on-site retention system must include a sand filter sized 0.8m² per 100m² of unroofed impervious and green roof areas to manage pollutant load discharged to the public stormwater system.	Music model has been included utilising Newcastle's MUSIC-link.
Proximity to Cottage Creek – Council Comment	**Response**
Both the SEE and Stormwater Management Plan indicate no on-site stormwater detention (OSD) has been provided at the proposed development due to its proximity to a natural water course. *Consideration must, however, be given to the public drainage system to which the development will connect. Development stormwater is proposed to be disposed to a kerb inlet pit connecting to a 450mm diameter RCP (SW000364) under the Hunter Street kerb which drains to the west to Cottage Creek. This stormwater pipe services an estimated 13,000m² of adjacent development area and 5,300m² of public road, and is not likely capable of accommodating uncontrolled discharge from any connecting developments.*	No OSD has been included. Resizing of the proposed Stormwater Rain tank, its re-use purposes have been implemented and DRAINS model has been designed to generate discharge rates during major and minor events.
The development must therefore provide on-site stormwater retention discharging a maximum of 7.2L/s per 100m² of contributing catchment to the public drainage system.	Site Calculated to be 2,078m². Approximately 20.78 times 100m² **7.2L/s per 100m² * 20.78 = 147.46L/s for the site.** The creation of a drains model showing the inclusion of the Rainwater tank to reduce the discharge rate to less than 147.46L/s will be provided to Council as part of this response.
Rainwater Reuse	**Response**
A 27,000L retention and reuse tank is proposed at the development however the extent of connected reuse is not clear.	Re-use of rainwater captured has been included based on a drawdown as per Table 4.1 of the 'Stormwater and Water Efficiency for Development'.

2.1 NDCP 2012 - Council Comment	Response
The Applicant is requested to provide the scope (i.e., number of storeys) of reuse proposed at the development and provide a breakdown of the expected rate of drawdown (in kL/day) in accordance with Table 4.1 of the 'Stormwater and Water Efficiency for Development' Technical Manual (SWEDTM), or based on any other available data. Rainwater reuse storage tanks should be sized for a 4-day period to fill the tank and a 20-day drawdown.	

Waste Collection Generation

Waste collection rates have been updated as shown on the amended Concept Civil Plans provided within **Appendix A**.

As nominated in Council response to waste collection, collection for residents is to occur individually on the designated parking level of their unit, the designated building manager will facilitate the moving of waste from parking levels as required during the week. As shown on the amended waste management plans provided within **Appendix A** all of the required bins can fit within the ground floor waste room on collection day. As part of the management of the bins, these will be rotated by the building manager for collection. Waste collection will occur at the nominated waste collection point within close proximity to the kerb side frontage.

Other Matters

- Amended Architectural Plans have been provided within **Appendix B**. For consistency these plans have been updated to reflect comments made by the UDCG on the 27 July 2022 and subsequent changes to respond to Council's RFI. A summary of the key changes to the amended plans include:

    - Ground floor carparking level lowered by 300mm.
    - Driveway grades updated to suit updated parking level.
    - Door to fire egress corridor relocated.
    - Step added to fire egress path to suit updated parking level.
    - Steps and platform added to MSB room to suit updated parking level.
    - Mail room added to residential lobby.
    - Mailboxes relocated into the residential lobby.
    - Motorcycle space distribution across L1, L2 and L3 updated (total remains the same).
    - Secure entry added at base of residential carpark ramp.
    - GF to L1 Ramp length updated to suit updated ground floor parking level.
    - Garage added to L1 and L2.
    - Storage cage arrangement updated.
    - Landscape courtyard access door added to podium level.
    - Pool pergola shown in elevation.

CONCLUSION

We trust that the additional information provided is satisfactory and allows Council to finalise its assessment and issue an approval for the proposed modification application.

Should you have any questions in relation to the contents of this submission or would like to arrange a meeting to discuss any of the above matters further, please do not hesitate to contact Craig Marler from ADW Johnson or the undersigned on (02) 4978 5100 or via email at zacs@adwjohnson.com.au.

Yours sincerely,

ZAC SMURTHWAITE
SENIOR TOWN PLANNER
ADW JOHNSON PTY LTD
HUNTER OFFICE

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Appendix A

AMENDED CONCEPT CIVIL PLANS (INDESCO)

WATERVUE

643-651 HUNTER STREET NEWCASTLE

LOCALITY PLAN
NTS

ISSUE FOR DA APPLICATION

SEPT 2022

CLIENT:

BLOC

ARCHITECT:

STEWART ARCHITECTURE

CONSULTANTS:

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CONSULT AUSTRALIA

7330-01-000

DRAWING SCHEDULE

NUMBER	DRAWING TITLE
7330-01-000	COVER SHEET
7330-01-001	DRAWING SCHEDULE
7330-01-002	LEGEND ABBREVIATION AND GENERAL NOTES
7330-01-003	GROUND FLOOR STORMWATER PLAN
7330-01-004	STORMWATER DETAILS
7330-01-005	SITE CALCULATIONS
7330-01-006	SITE PERMEABILITY
7330-01-007	TYPICAL DETAILS
7330-01-020	WASTE MANAGEMENT PLAN
7330-01-020	WASTE MANAGEMENT PLAN
7330-01-030	GROUND FLOOR SWEPT PATH ANALYSIS
7330-01-031	LEVEL 1 SWEPT PATH ANALYSIS
7330-01-032	LEVEL 2 SWEPT PATH ANALYSIS
7330-01-033	LEVEL 3 SWEPT PATH ANALYSIS
7330-01-040	PRE-DEVELOPMENT PMF STORAGE DEPTHS
7330-01-041	POST-DEVELOPMENT PMF STORAGE DEPTHS
7330-01-045	FLOOD STORAGE SECTIONS SHEET 1
7330-01-045	FLOOD STORAGE SECTIONS SHEET 2

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
2	RE-ISSUED FOR DA APPLICATION	M.S.	27.09.22	M.M.
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K.

ARCHITECT
STEWART ARCHITECTURE

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APPROVED	M.S.	DATE	28.01.2022
CHECKED	M.S.	DATE	28.01.2022
DESIGNED BY	M.S.		
DRAWN BY	D.K.		
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-001 DRG SHED.dwg		
SCALE	AS SHOWN	SHEET No.	

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
DRAWING SCHEDULE

PROJECT No.	DRAWING No.	AMDT
7330-01	001	2

LEGEND

EXISTING

- WATERMAIN, THRUST BLOCK, FIRE HYDRANT, STOP VALVE
- WATER TIE
- STORMWATER MAIN, SUMP, MANHOLE
- STORMWATER TIE
- SEWER MAIN, MAINTENANCE HOLE
- SEWER TIE
- GAS
- CONTOURS (SURVEY)
- CONTOURS (ACTMAPi)
- ELECTRICITY SERVICE LINE UNDERGROUND
- ELECTRICITY SERVICE LINE OVERHEAD
- ELECTRICITY STREETLIGHTING UNDERGROUND
- ELECTRICITY STREETLIGHTING OVERHEAD
- ELECTRICITY LOW VOLTAGE UNDERGROUND
- ELECTRICITY LOW VOLTAGE OVERHEAD
- ELECTRICITY HIGH VOLTAGE UNDERGROUND
- ELECTRICITY HIGH VOLTAGE OVERHEAD
- LIGHTPOLE / POWERPOLE
- NBN
- ICON CABLE (PIT)
- TELSTRA CABLE WITH PIT, SHARED COMMS PIT AND MARKER
- TELSTRA FIBRE OPTIC CABLE
- TRANSACT CABLE
- OPTUS CABLE
- TREE
- TREE TO BE REMOVED
- TREE TO BE PRUNED
- TREE PROTECTION FENCE
- STORMWATER TO BE ABANDONED
- STORMWATER TO BE REMOVED
- END CAP (TYPE 1)
- END CAP (TYPE 2)
- BOLLARD

PROPOSED

- STORMWATER LINE/MANHOLE
- R-SUMP
- PROPOSED ISLAND MODIFICATION

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 'MUNICIPAL INFRASTRUCTURE STANDARDS (MIS) APRIL 2019 AND ICON'S WATER SUPPLY AND SEWERAGE STANDARDS (WSSS) JULY 2018.
2. EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA. THE PRINCIPAL DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION AND IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCING WORK. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES.
3. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE POSITION AND LEVEL OF ALL EXISTING SERVICE CONNECTION POINTS AND NOTIFY THE SUPERINTENDENT IMMEDIATELY IF A DISCREPANCY IS FOUND.
4. ALL SURVEY SET-OUT SHALL BE UNDERTAKEN BY A REGISTERED SURVEYOR.
5. ALL EXISTING AND FINISHED SURFACE LEVELS ARE TO THE AUSTRALIAN HEIGHT DATUM (AHD).
6. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EVOENERGY CABLES. NO MECHANICAL EXCAVATION IS TO BE UNDERTAKEN OVER EVOEVNERGY CABLES. HAND EXCAVATE IN THESE AREAS ONLY.
7. WHERE NEW WORK ABUTS EXISTING WORK THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
8. ALL EARTHWORKS, BATTERS AND TRENCH LINES TO BE TOPSOILED WITH 100mm SITE TOPSOIL, TEMPORARY GRASSED & BITUMEN STRAW MULCHED.
9. EXISTING REFERENCE MARKS SHOWN HAVE NOT BEEN FIELD CHECKED. CO-ORDINATES AND REDUCED LEVELS TO BE CONFIRMED WITH EPD FOR ACCURACY.
10. THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING BENCH MARKS WITHOUT EPD APPROVAL IN WRITING.
11. CONNECTION OF NEW STORMWATER PIPES TO EXISTING PIPES AND MANHOLES IS TO BE UNDERTAKEN BY THE CONTRACTOR.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY SUPPORT OF EXISTING SERVICES DURING EXCAVATION OF TRENCHES TO THE SATISFACTION OF THE SERVICE OWNER/AUTHORITY.
13. WHERE SERVICES CROSS EXISTING ROADS THE PAVEMENT IS TO BE SAWCUT 300mm WIDER THAN THE REQUIRED TRENCH EXCAVATION AND THE FINISHED SURFACE REINSTATED WITH ASPHALTIC CONCRETE.
14. ALL SEWER AND STORMWATER MAINTENANCE HOLES ARE TO BE 1050DIA PRECAST OR IN SITU CONSTRUCTION WITH LIGHT DUTY COVERS (CLASS B) IN OPEN SPACES AND HEAVY DUTY COVERS (CLASS D) IN ROADWAYS UNLESS OTHERWISE SHOWN. SEWER MAINTENANCE HOLES WITH VERTICAL DROPS ARE CAST INSITU.
15. ALL STORMWATER MAINS UP TO 750DIA SHALL BE STEEL OR FIBRE REINFORCED CONCRETE PIPE RRJ WITH 100 YEAR DESIGN LIFE. PIPES GREATER THAN 750DIA SHALL BE RCP.
16. STORMWATER SERVICE TIES ARE TO BE RRJ SLOPE JUNCTIONS, UNLESS CONNECTED INTO A SWMH OR SUMP. STORMWATER TIES TO BE BRANCH END AND SEALED.
17. DESIGN LENGTHS FOR STORMWATER & SEWER PIPELINES ARE MEASURED FROM THE CENTRE OF THE MAINTENANCE HOLES AND/OR SUMP. AS CONSTRUCTED LENGTHS ARE MEASURED FROM THE INSIDE FACE OF THE MAINTENANCE HOLE/SUMP.
18. INVERT LEVELS ARE TO THE CENTRE OF MAINTENANCE HOLES & SUMPS.
19. NOMINATED MAINTENANCE HOLE/SUMP LOCATIONS REFER TO CENTRE OF MAINTENANCE HOLE/SUMP.
20. COVER LEVELS GIVEN ARE TO BE USED AS A GUIDE ONLY. ACTUAL LEVELS TO BE DETERMINED ON SITE.
21. ALL TREE PROTECTION FENCING TO BE CHAINWIRE FENCE TYPE, 1.8m HIGH AND ERECTED 2.0m-5.0m OUTSIDE THE TREE CANOPY AS AGREED WITH THE SUPERINTENDENT, UNLESS NOTED OTHERWISE.
22. CONTRACTOR TO HAVE ZINFRA IDENTIFY/MARK ALL GAS MAINS WITHIN THE VICINITY OF WORKS.
23. CONTRACTOR TO RESTORE VERGE TO EXISTING CONDITION AFTER CONSTRUCTING STORMWATER STRUCTURES/PIPES.

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K.

ARCHITECT: STEWART ARCHITECTURE

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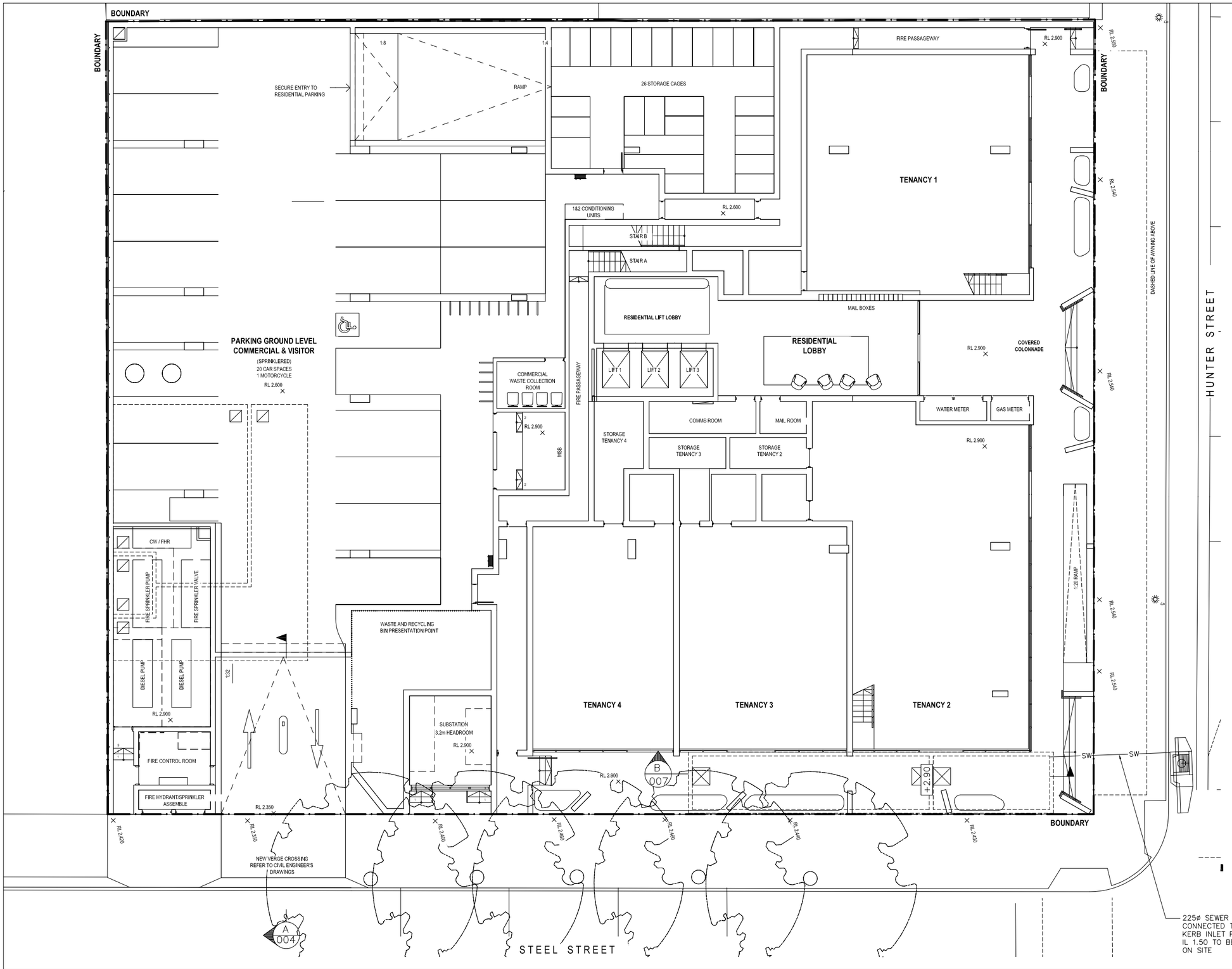
DESIGNED BY	M.S		
DRAWN BY	D.K		
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-002 GEN NOTES.dwg		
SCALE	AS SHOWN	SHEET No.	

PROJECT: WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE: LEGEND ABBREVIATION AND GEN NOTES

PROJECT No.	DRAWING No.	AMDT
7330-01	002	1



LEGEND

EXISTING SERVICES

- SITE BOUNDARY
- SW — EXISTING STORMWATER
- SW — EXISTING STORMWATER TO BE REMOVED
- 558.0 — MAJOR CONTOURS
- 558.2 — MINOR CONTOURS
- TREE
- exSEW — EXISTING SEWER LINE

PROPOSED

- TREE TO BE REMOVED
- TREE PROTECTION FENCE
- CD — CATCHMENT DRAIN
- SW — STORMWATER (SUMP, GRATED PIT)
- AGG — AGG — AGI PIPE
- STORMWATER STRIP DRAIN
- HDG — HEAVY DUTY GRADE
- LDG — LIGHT DUTY GRADE
- ODP — DOWN PIPE

GROUND FLOOR STORMWATER PLAN NOTES:

1. ALL PIPES SHOWN MIN. 100ø WITH 1% FALL UNLESS OTHERWISE SPECIFIED
2. GRADE ALL PREVIOUS AREAS AWAY FROM BUILDINGS.
3. PROVIDE OVERFLOW PATHS THRU LANDSCAPING BEDS AS REQUIRED OR AS DIRECTED BY ENGINEER ON SITE.
4. GEOFABRIC MATERIAL TO BE FITTED TO ALL OUTLET PIPES FOR ALL PITS. THIS IS REQUIRED TO STOP SEDIMENT FROM EXISTING THE PROPERTY.

CLASS OF GRATE AS3996.2006		
CLASS	DESIGN LOAD	TYPICAL USER
CLASS A	10kN	PEDESTRIAN
CLASS B	80kN	LIGHT VEHICLES
CLASS C(i)	150kN	LIGHT TRUCK
CLASS C(ii)	150kN	SLOW TRUCK
CLASS D	210kN	HIGHWAY VEHICLES

MINIMUM 52K LT RAINWATER TANK REQUIRED
ON-SITE RETENTION DESIGNED TO REDUCE THE DISCHARGE OF STORM WATER AND IMPACT TO THE PUBLIC DRAINAGE SYSTEM.

A1 PLOT 2000 — 0 20 40 60 80 — 40 20 — A3 PLOT 4000

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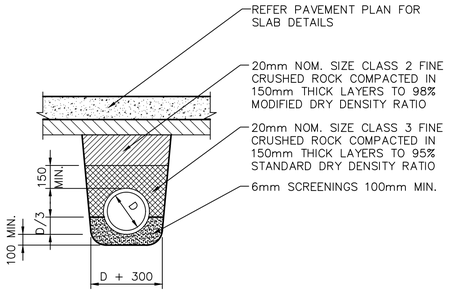
APPROVED	M.S	DATE
CHECKED	M.S	DATE
DESIGNED BY	D.K	
DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-003 GROUND FLOOR STORMWATER.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

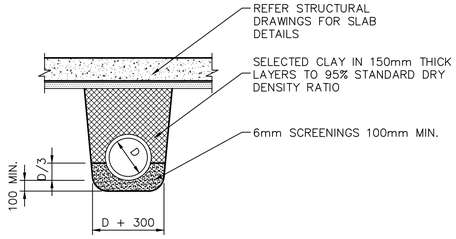
DRAWING TITLE
GROUND FLOOR STORMWATER PLAN

PROJECT No.	DRAWING No.	AMDT
7330-01	003	1



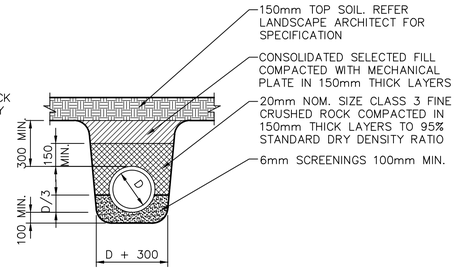
PIPE BEDDING – UNDER CONCRETE PAVEMENTS

NOT TO SCALE



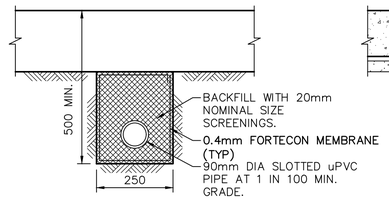
PIPE BEDDING – UNDER FLOOR SLAB

NOT TO SCALE



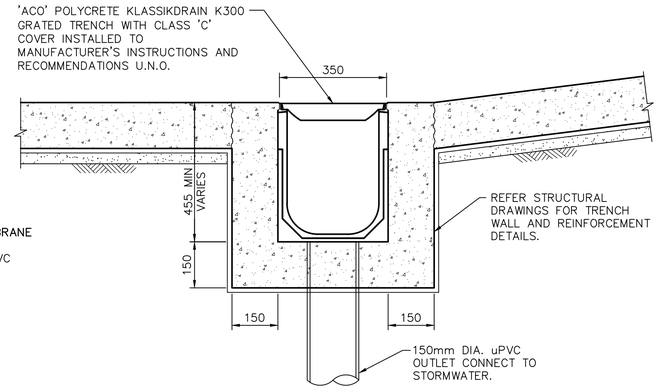
PIPE BEDDING – IN LANDSCAPING

NOT TO SCALE



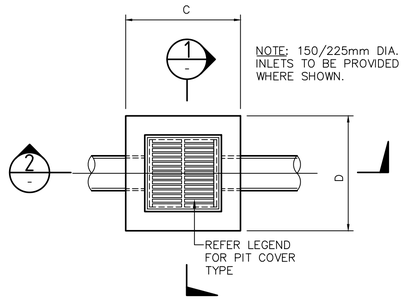
AGRICULTURAL DRAIN (AG) DETAIL

NOT TO SCALE

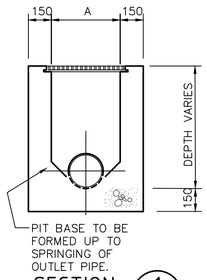


GRATED TRENCH DETAIL

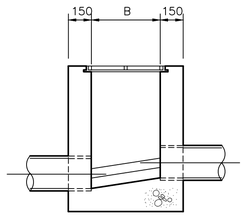
GRATE HEAVY–DUTY – CLASS 'C'
UNLESS NOTED OTHERWISE
NOT TO SCALE



PLAN



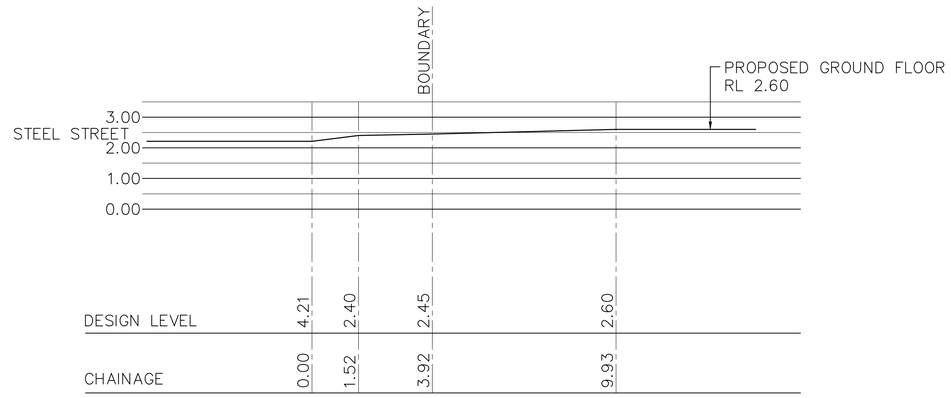
SECTION 1



SECTION 2

GRATED AND JUNCTION PIT DETAIL

NOT TO SCALE



DRIVEWAY LONG SECTION

SCALE 1:100 @ A1

NOTES:

1. ALL PITS IN VEHICLE PAVEMENT AREAS SHALL BE CLASS 'C' GATIC CAST IRON GRATE OR COVER OR EQUAL APPROVED TYPE UNLESS NOTED OTHERWISE.
2. ALL GRATED PITS IN FOOTPATH AND PEDESTRIAN PAVEMENTS SHALL BE APPROVED TYPE HEEL GUARD DDA COMPLIANT GRATES.
3. INSTALL HOT–DIPPED GALVANISED STEEL STEP IRONS AT 300 mm INTERVAL IN ALL PITS OF 900x900 IN EXCESS OF 1.0 METRE DEPTH.
4. ALL MILD STEEL GRATES AND FRAMES SHALL BE HOT–DIPPED GALVANISED IN ACCORDANCE WITH AS1650–1981.
5. TOP OF PITS SHALL MATCH SLOPE AND LEVEL OF ADJOINING FINISHED SURFACE LEVELS.
6. CONCRETE F'c = 40 MPa SULPHATE RESISTANT CEMENT QUARRY MIXED WITH XYPEX. OR APPROVED TYPE PRECAST PITS WITH 2% CEMENT STABILISED SAND BACK FILLING.

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K.

ARCHITECT
STEWART ARCHITECTURE

CLIENT
BLOC

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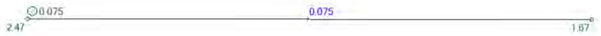
APPROVED	M.S	DATE	17.02.2022
CHECKED	M.S	DATE	17.02.2022
DESIGNED BY	M.S		
DRAWN BY	D.K		
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-004 DETAILS.dwg		
SCALE	AS SHOWN	SHEET No.	

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
STORMWATER DETAILS

PROJECT No.	DRAWING No.	AMDT
7330-01	004	1

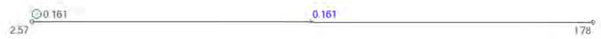


1 IN 5 YEAR PRE CONSTRUCTION CONDITIONS

1 IN 5 YEAR POST CONSTRUCTION CONDITIONS

TANK DESIGNED TO REDUCE THE DISCHARGE RATE TO LESS THAN 7.2/s/100m2. HARVESTED RAINWATER PROPOSED FOR RE-USE. CALCULATED TO SATISFY NEWCASTLE MUSLIC-link PARAMETERS. THE DAILY EXPECTED DRAWDOWN OF WATER TO THIRTY-TWO (32) 1-2 BED APARTMENTS LOCATED ON LEVELS 4-18, IN ACCORDANCE WITH TABLE 4.1, VOLUME THAT CAN BE DISPOSED THROUGH CONNECTED USES, IS PROJECTED TO BE 3.741 kL/day. DESIGN AND ANALYSIS HAS CONSIDERED A MINIMUM 20kL TO BE MAINTANED TO SATISFY DRAWDOWN REQUIREMENTS FOR RE-USE. RESIDENTIAL USE TO BE CONNECTED TO THE TANK VIA SEPARATE RETICULATION SYSTEM TO MAINS. REMAINING VOLUME OF TANK (36m³) TO BE USED AS ON SITE DETENTION.

APARTMENT	1 BED	2 BED	3 BED
REUSE	1 TOILET (0.125kL)	N/A	N/A
VOLUME	32 APARTMENTS	N/A	N/A
4 DAY RE-USE VOL.	16.00kL	N/A	N/A



1 IN 100 YEAR PRE CONSTRUCTION CONDITIONS

1 IN 100 YEAR POST CONSTRUCTION CONDITIONS

PRE CONSTRUCTION SITE CONTRIBUTIONS
AREA = 2078m²
IMPERVIOUS AREA = 100%
PERVIOUS AREA = 0%

POST CONSTRUCTION SITE CONTRIBUTIONS
AREA = 2078m²
IMPERVIOUS AREA = 100%
PERVIOUS AREA = 0%
ONSITE RETENTION = 56kL

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
2	RE-ISSUE FOR DA	M.S	28.09.22	M.M.
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K.

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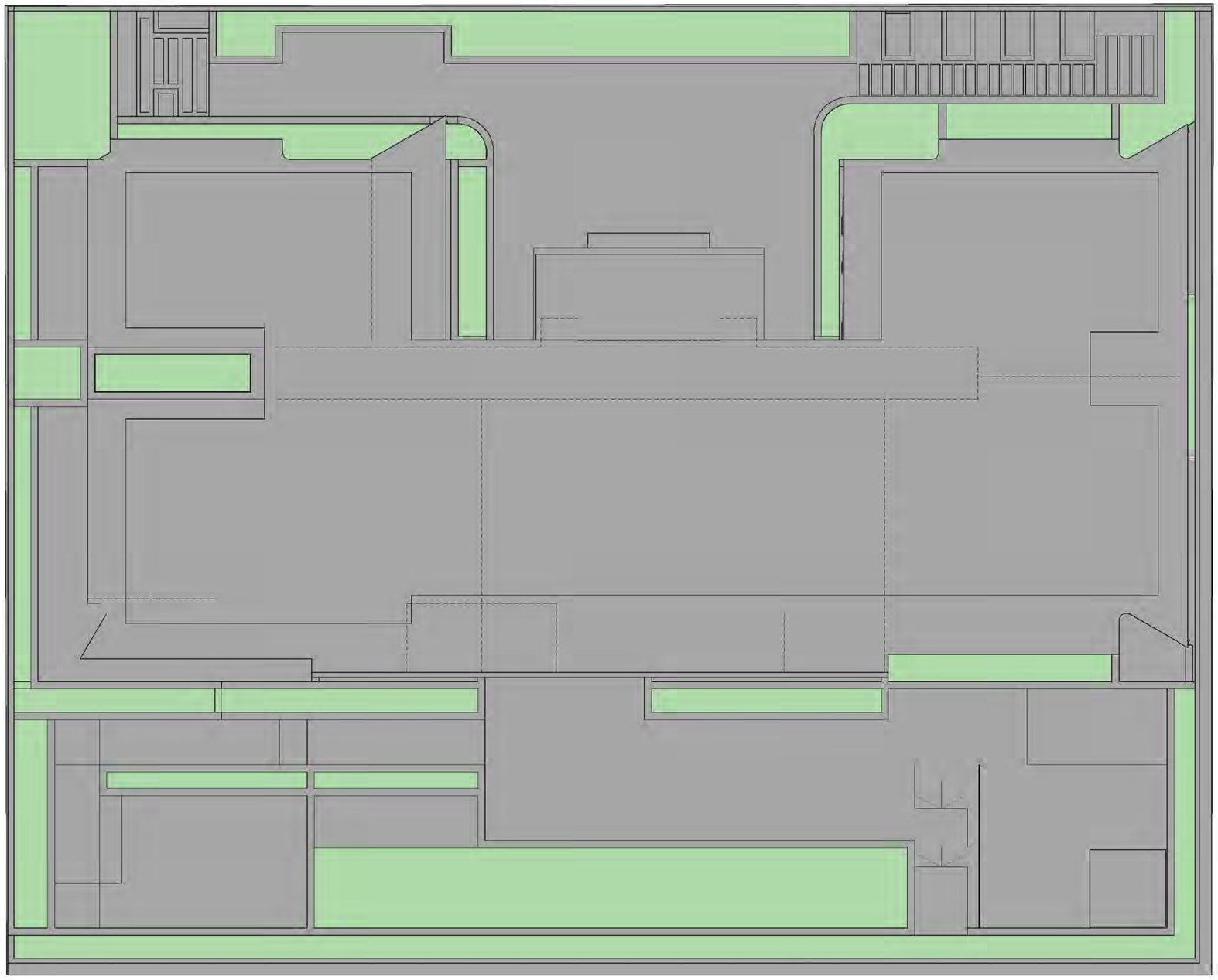
APPROVED	M.S	DATE	17.02.2022
CHECKED	M.S	DATE	17.02.2022
DESIGNED BY	M.S		
DRAWN BY	D.K		
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings (Civil)\7330-01-005 SITE CALCULATIONS.dwg		
SCALE	AS SHOWN	SHEET No.	

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
SITE CALCULATIONS

PROJECT No.	DRAWING No.	AMDT
7330-01	005	2



SITE				
643–651 HUNTER STREET, NEWCASTLE				
SITE	AREA (m^2)	AREA (%)	mm/m	STORAGE REQ (m^3).
TOTAL	2078.25	100	N/A	48
GREEN SPACE	371.1	17.86	12mm	5
IMPERVIOUS	1707.15	82.14	25mm	43

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
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CHECKED	M.S	DATE	27.09.2022
DESIGNED BY	M.S		
DRAWN BY	M.M.		
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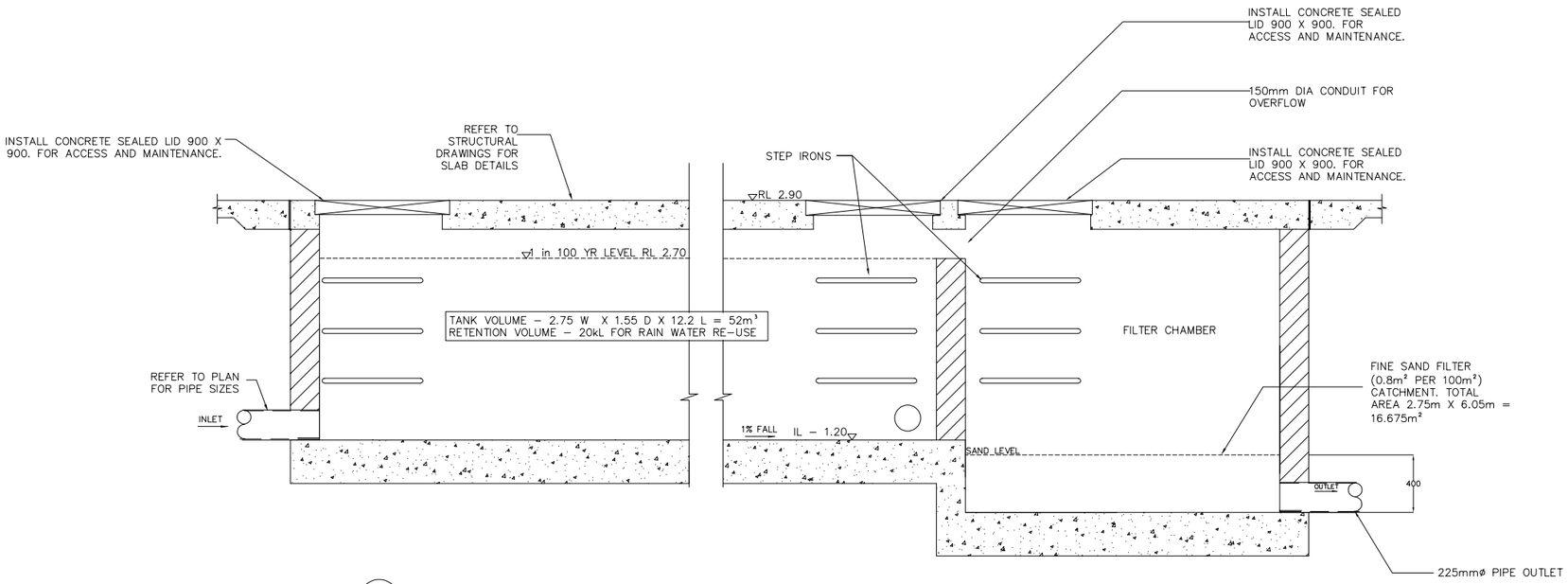
PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

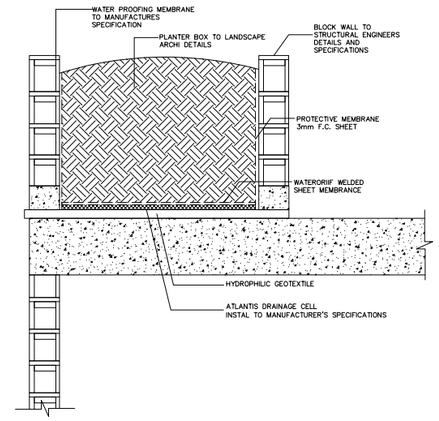
DRAWING TITLE
SITE PERMEABILITY CALCULATIONS

PROJECT No.	DRAWING No.	AMDT
7330-01	006	1



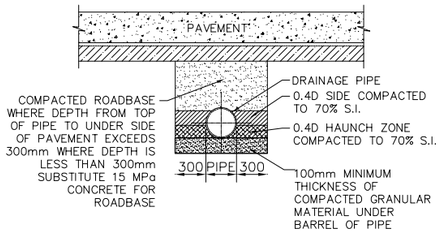
B 003 TYPICAL SECTION THROUGH STORMWATER RETENTION TANK

(NOT TO SCALE)



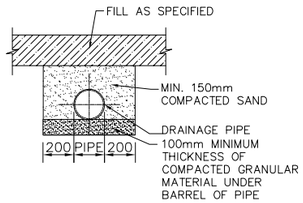
TYPICAL RAISED PLANTER BOX

(NOT TO SCALE)



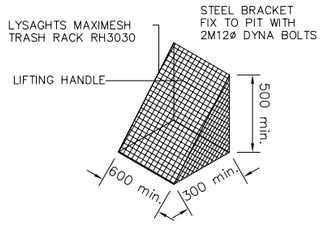
SECTION THROUGH STORMWATER DRAIN UNDER PAVEMENT

(NOT TO SCALE)



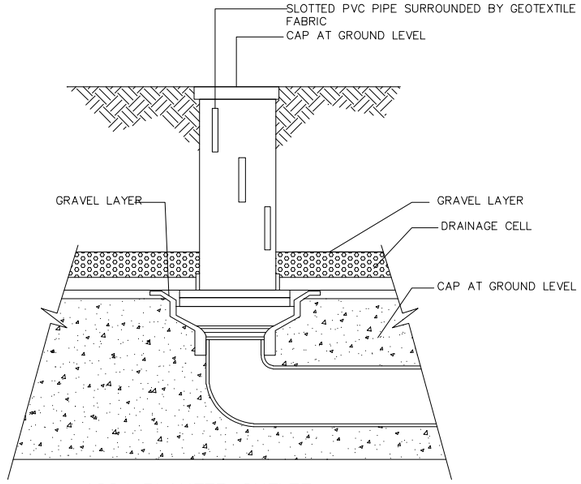
SECTION THROUGH STORMWATER DRAIN UNDER GROUND

(NOT TO SCALE)



MESH SCREEN DETAIL

(NOT TO SCALE)
GALVANISED LYSAGHT RH3030MAXI MESH SCREEN IN GALVANISED STEEL FRAME WITH LIFTING HANDLES



100ø PLANTER OUTLET

(NOT TO SCALE)

A1 PLOT 2000 40 20 0 20 40 60 80 4000 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.09.22	M.M

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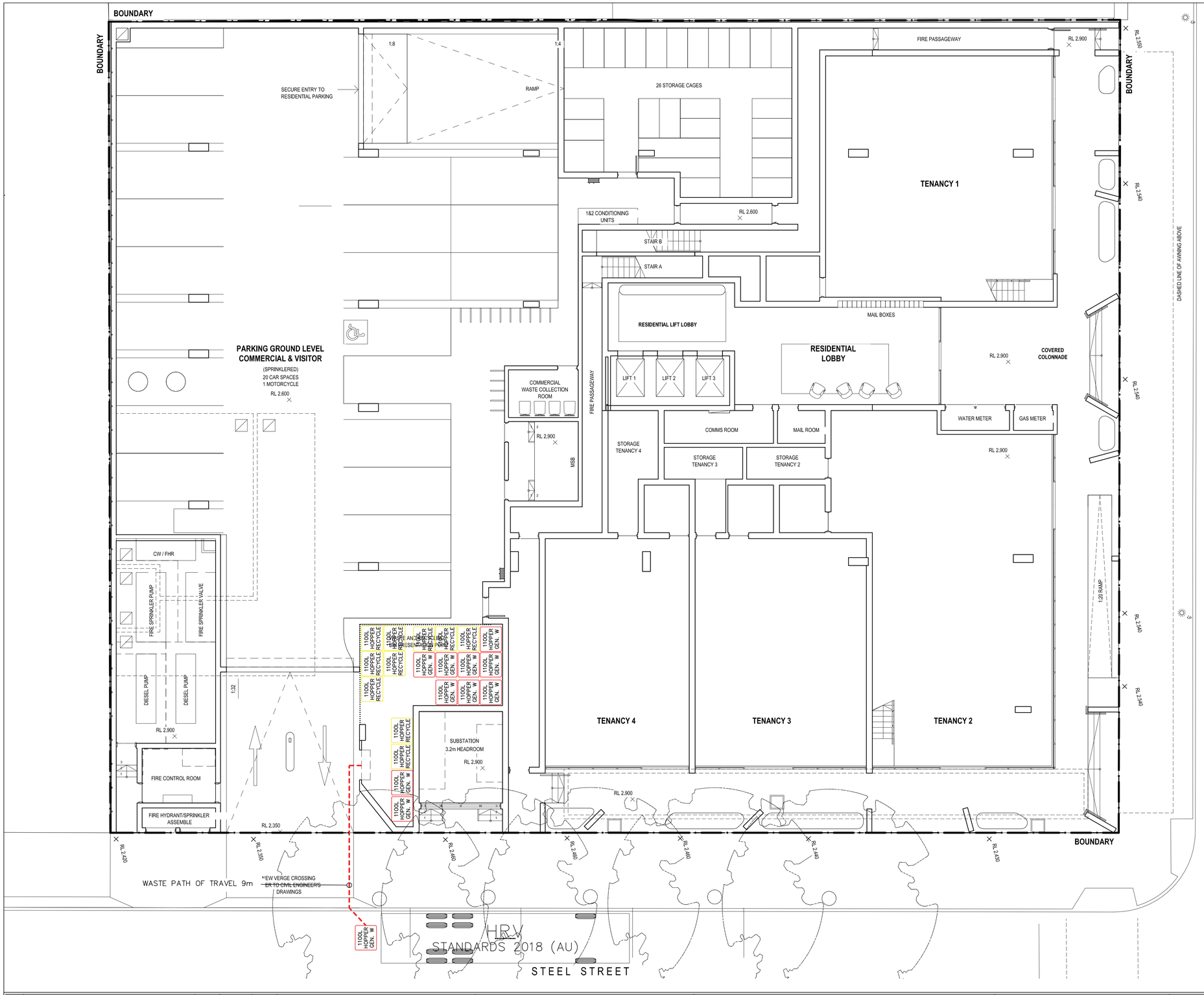
DESIGNED BY	D.K	
DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-003 GROUND FLOOR STORMWATER.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
STORMWATER TANK DETAIL

PROJECT No.	DRAWING No.	AMDT
7330-01	007	1



WASTE MANAGEMENT PLAN

LEGEND

- 1100L HOPPER GEN. W — DENOTES GENERAL WASTE HOPPER
- 1100L HOPPER RECYCLE — DENOTES RECYCLING HOPPER
- 1100L HOPPER FOGO — DENOTES FOGO WASTE HOPPER
- DENOTES PATH OF TRAVEL

GENERAL WASTE PER WEEK

RESIDENTIAL

APARTMENT SIZE	Est. Lts/WEEK	No. OF UNITS	TOTAL SITE
1 BED	80	29	2320
2 BED	100	45	4500
3+ BED	120	32	3840
TOTAL		106	10660
NUMBER 660lts			0
NUMBER 1100lts			10

CO–MINGLED RECYCLING PER WEEK

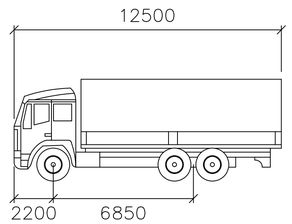
RESIDENTIAL

APARTMENT SIZE	Est. Lts/WEEK	No. OF UNITS	TOTAL SITE
1 BED	80	29	2320
2 BED	100	45	4500
3+ BED	120	32	3840
TOTAL		106	10660
NUMBER 660lts			0
NUMBER 1100lts			10

COMMERCIAL WASTE REQUIREMENTS

OFFICE

UNIT	FLOOR AREA (m^2)	WASTE/UNIT(m^2)/ DAY (LITRES) 10L/100m^2/DAY	TOTAL WASTE (LITRES) MON–FRI	BIN SIZE	NO. OF COLLECTIONS PER WEEK	WEEKLY CAPACITY (LITRES)
TENANCY 1	182.7	18.27	91.35	2 x 240	1	480L
TENANCY 2	264.2	26.42	132.1			
TENANCY 3	149.1	14.91	74.55			
TENANCY 4	125	12.5	62.5			
TOTAL	721	72.1	360.5			



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Steering Angle	: 36.7

A1 PLOT 2000 — 40 20 0 20 40 60 80 — A3 PLOT 4000

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
2	RE–ISSUED FOR DA APPLICATION	M.S	27.09.22	M.M.
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

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CHECKED	M.S	DATE
DESIGNED BY	D.K	
DRAWN BY	D.K	

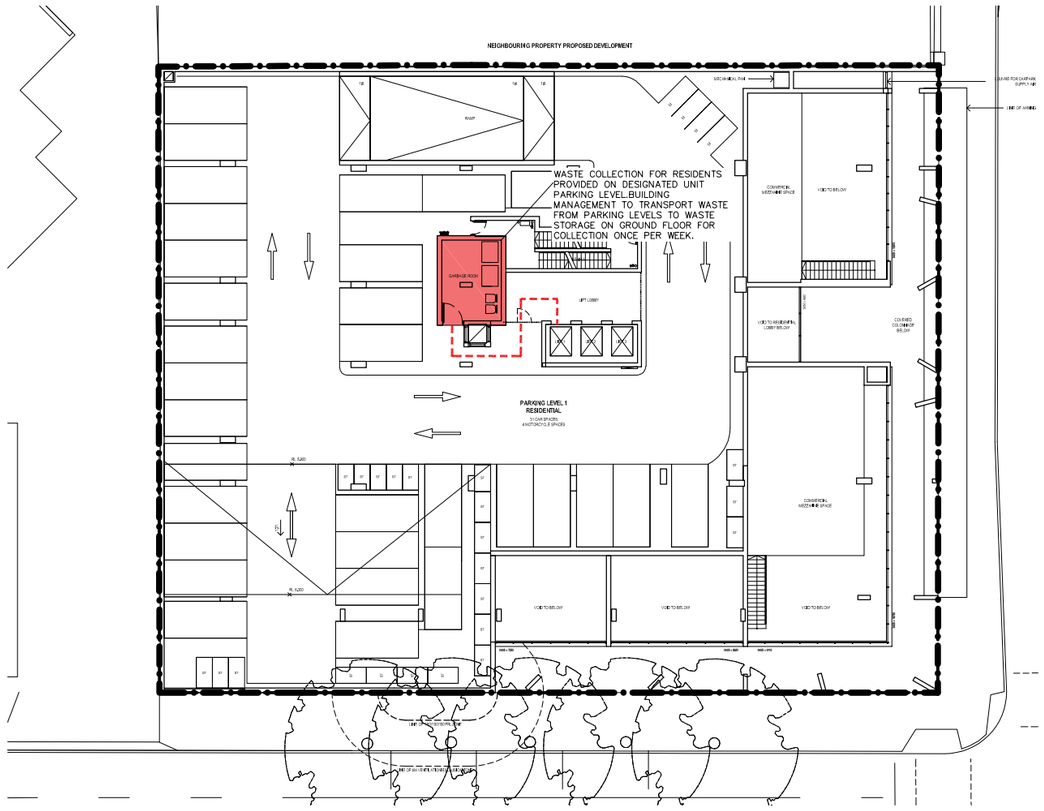
CAD FILE H:\7330 643–651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330–01–020 WASTE MANAGEMENT PLAN.dwg

SCALE: AS SHOWN — SHEET No.

PROJECT: WATERVUE, 643-651 HUNTER STREET, NEWCASTLE

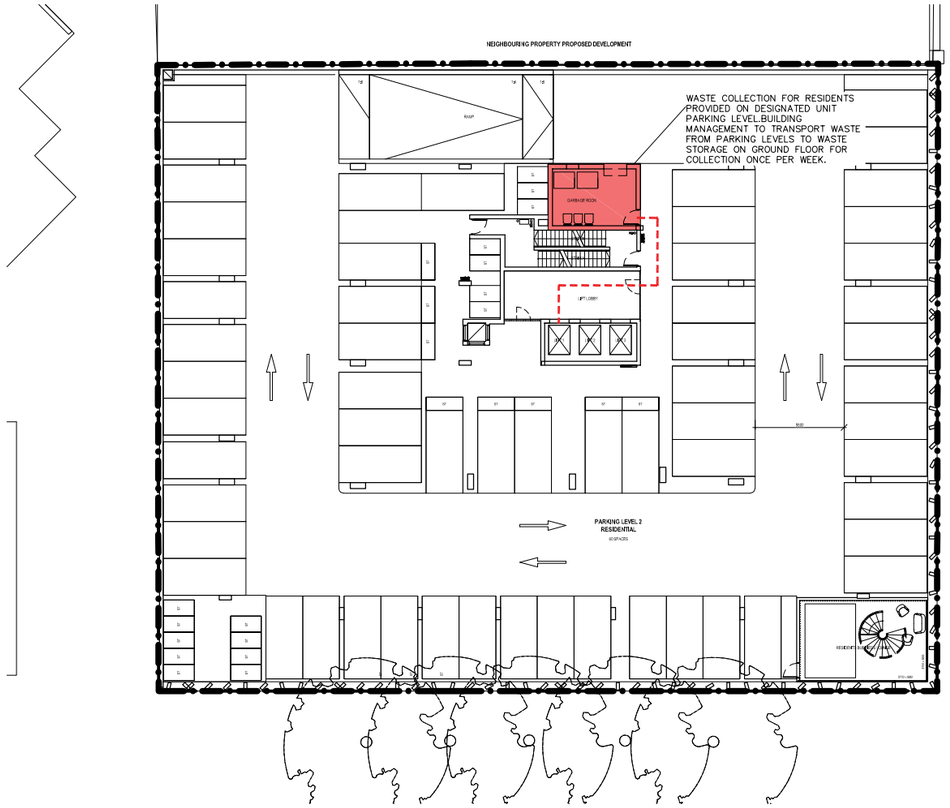
DRAWING TITLE: WASTE MANAGEMENT PLAN

PROJECT No.	DRAWING No.	AMDT
7330-01	020	2



LEVEL 1 GARBAGE ROOM LOCATION

SCALE 1:200 AT A1



LEVEL 2 GARBAGE ROOM LOCATION

SCALE 1:200 AT A1

WASTE MANAGEMENT PLAN

LEGEND

- 240L GEN. W — DENOTES GENERAL WASTE HOPPER
- 240L RECYCLE — DENOTES RECYCLING HOPPER
- 240L HOPPER FOGO — DENOTES FOGO WASTE HOPPER
- DENOTES PATH OF TRAVEL
- DENOTES GARBAGE ROOM

A1 PLOT 2000 — 0 20 40 60 80 — A3 PLOT 4000 — 40 20

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	29.09.22	M.M

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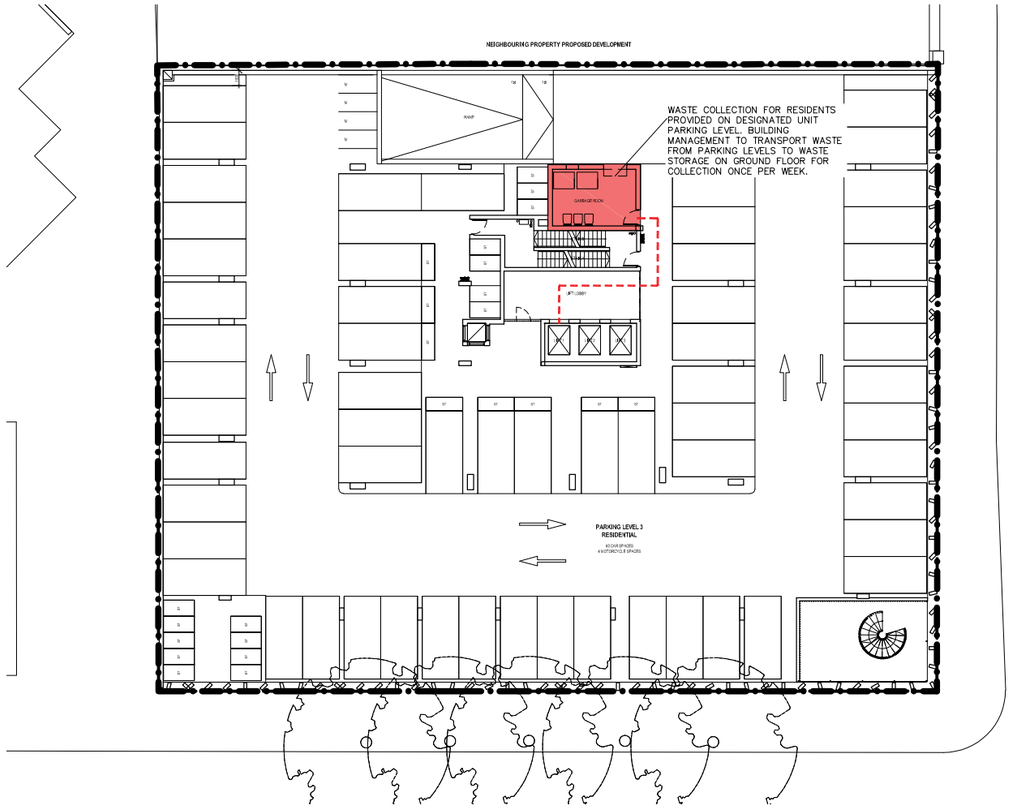
DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\DA\7330-01-021 LEVEL 1 WASTE STORAGE.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT: WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE: LEVEL 1 & 2
GARBAGE AND BIN STORAGE

PROJECT No.	DRAWING No.	AMDT
7330-01	021	1



LEVEL 3 GARBAGE ROOM LOCATION

SCALE 1:200 AT A1

WASTE MANAGEMENT PLAN

LEGEND

- 240L GEN. W — DENOTES GENERAL WASTE HOPPER
- 240L RECYCLE — DENOTES RECYCLING HOPPER
- 240L HOPPER FOGO — DENOTES FOGO WASTE HOPPER
- DENOTES PATH OF TRAVEL
- DENOTES GARBAGE ROOM

A1 PLOT 0 20 40 60 80 2000 40 20 A3 PLOT 4000

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	29.09.22	M.M.

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DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\DA\7330-01-033 LEVEL 3 WASTE STORAGE.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT

WATERVUE

643-651 HUNTER STREET

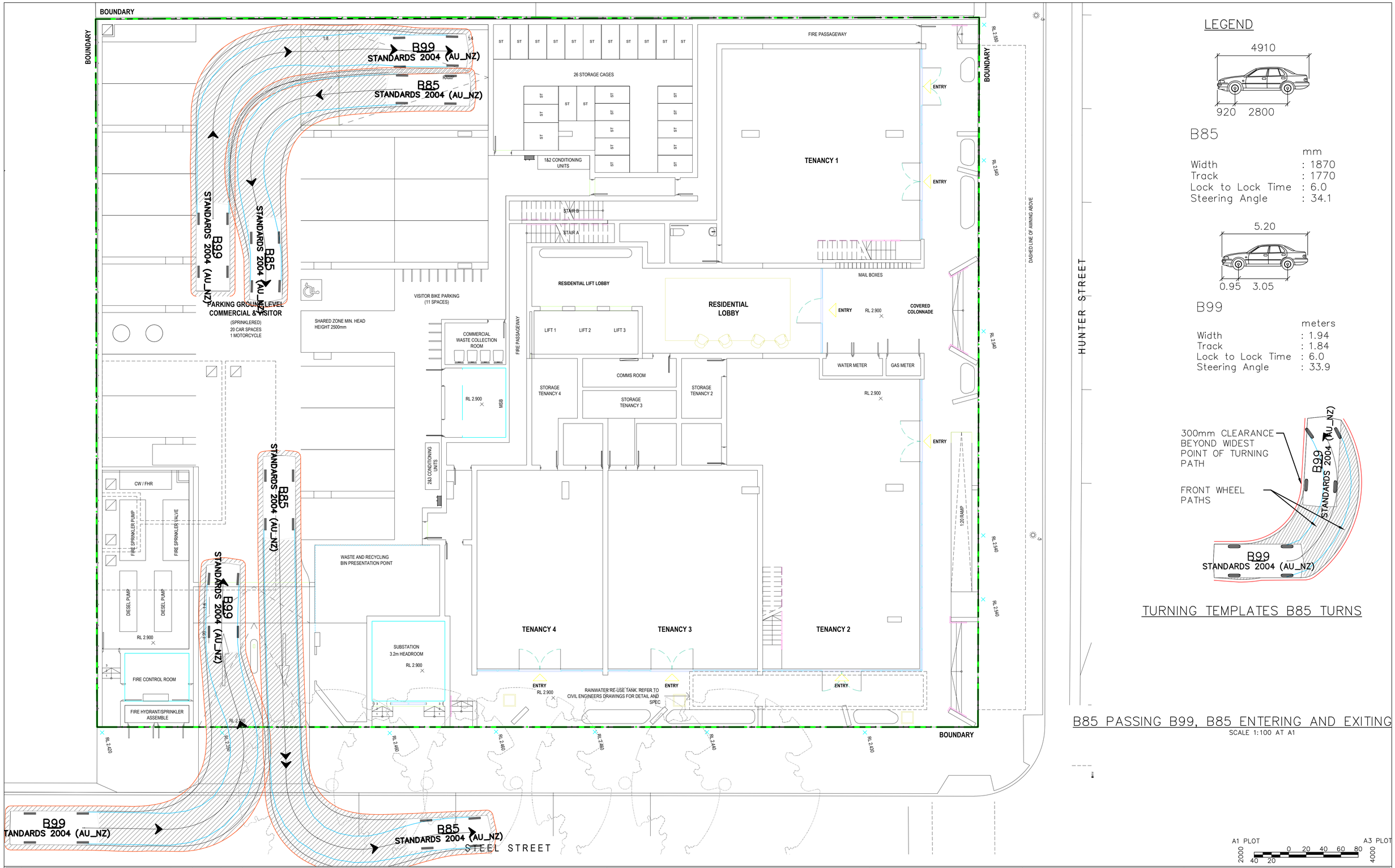
NEWCASTLE

DRAWING TITLE

LEVEL 3

GARBAGE AND BIN STORAGE

PROJECT No.	DRAWING No.	AMDT
7330-01	022	1



No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

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DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-030 GROUND FLOOR SWEPT PATH.dwg	
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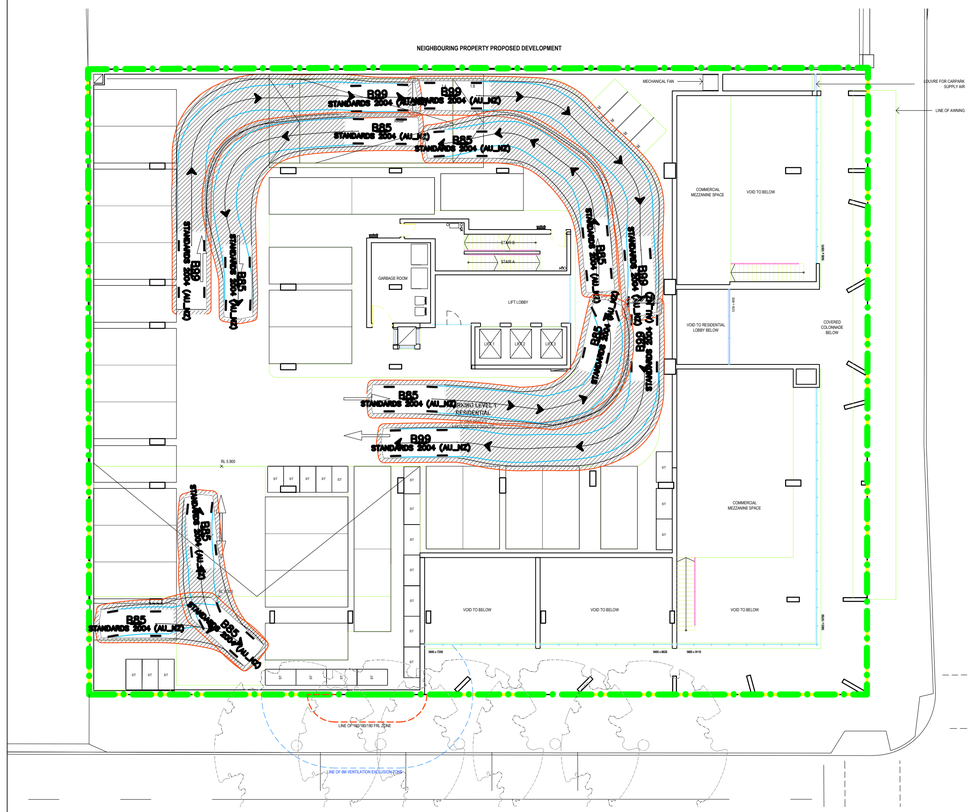
PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

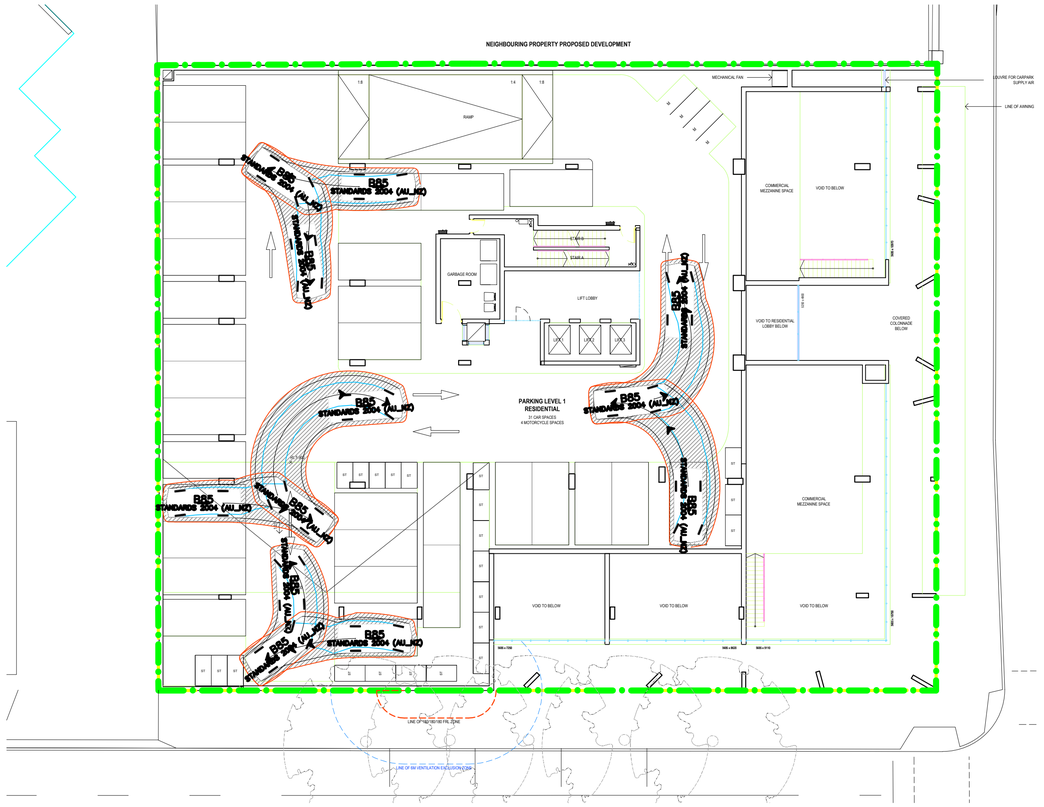
DRAWING TITLE
GROUND FLOOR
SWEPT PATH ANALYSIS

PROJECT No.	DRAWING No.	AMDT
7330-01	030	1



B85 PASSING B99

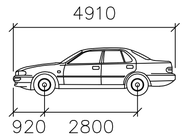
SCALE 1:200 AT A1



B85 ENTERING AND EXITING SPACES

SCALE 1:200 AT A1

LEGEND



B85

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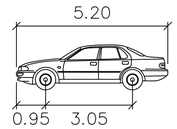

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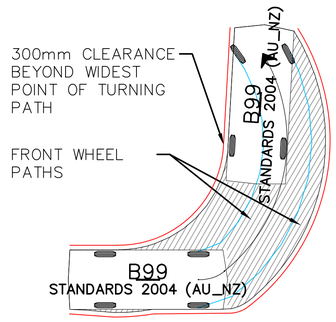

TURNING TEMPLATES B85 TURNS

A1 PLOT 2000 — 0 20 40 60 80 — 40 20 — A3 PLOT 4000

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
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DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-031 LEVEL 1 SWEPT PATH.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT

WATERVUE

643-651 HUNTER STREET

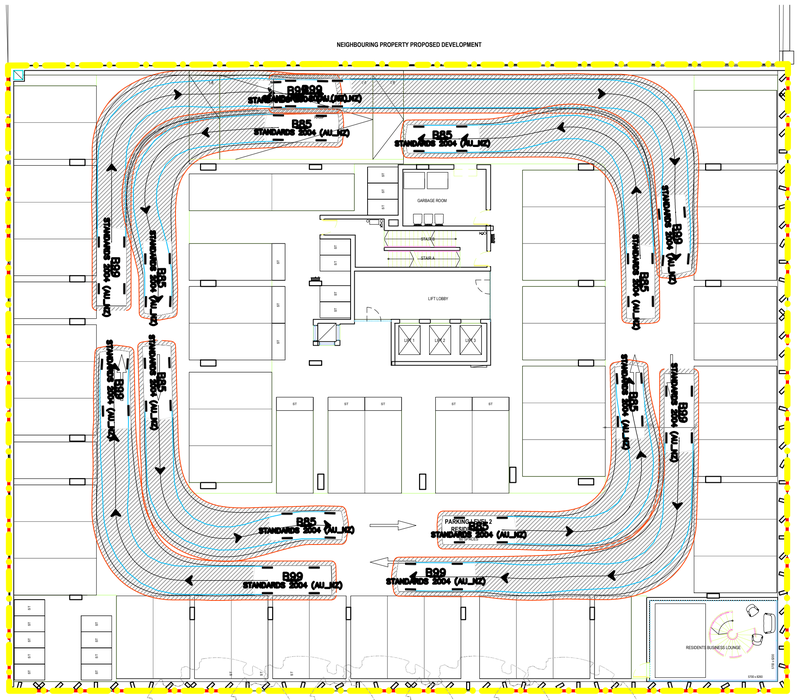
NEWCASTLE

DRAWING TITLE

LEVEL 1

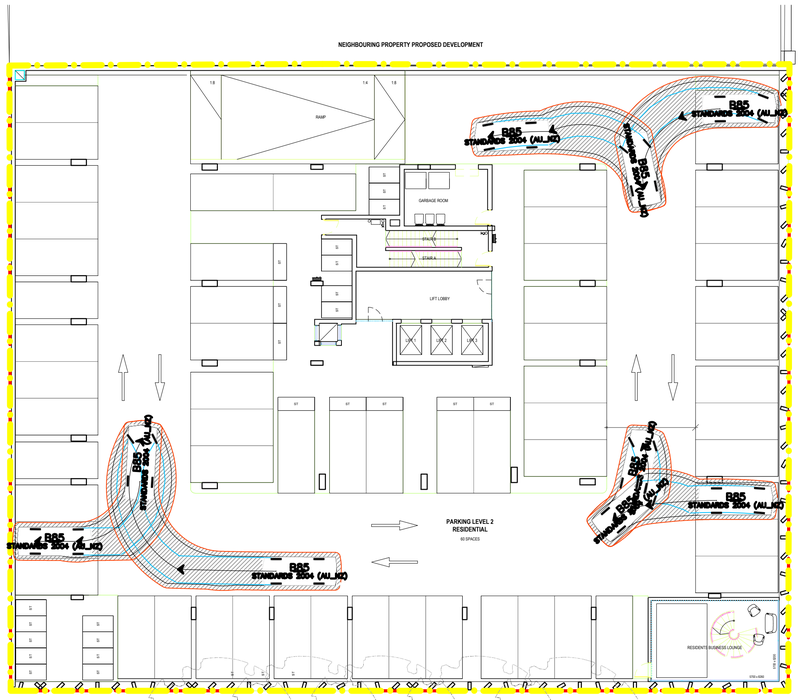
SWEPT PATH ANALYSIS

PROJECT No.	DRAWING No.	AMDT
7330-01	031	1



B85 PASSING B99

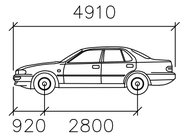
SCALE 1:200 AT A1



B85 ENTERING AND EXITING SPACES

SCALE 1:200 AT A1

LEGEND



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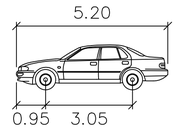
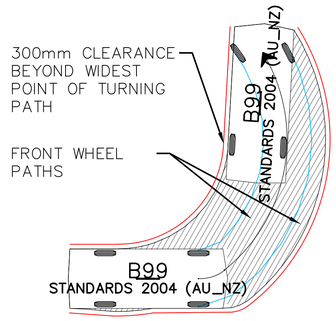


B99

	meters
Width	: 1.94
Track	: 1.84
Lock to Lock Time	: 6.0
Steering Angle	: 33.9



TURNING TEMPLATES B85 TURNS

A1 PLOT 2000 40 20 0 20 40 60 80 4000 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

ARCHITECT

STEWART ARCHITECTURE

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CHECKED	M.S	DATE
DESIGNED BY	D.K	
DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-032 LEVEL 2 SWEPT PATH.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT

WATERVUE

643-651 HUNTER STREET

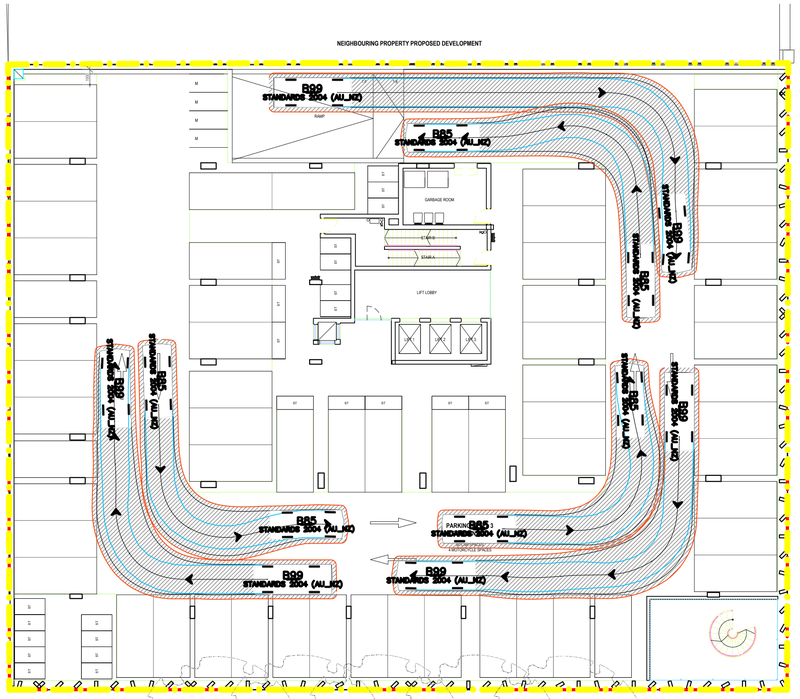
NEWCASTLE

DRAWING TITLE

LEVEL 2

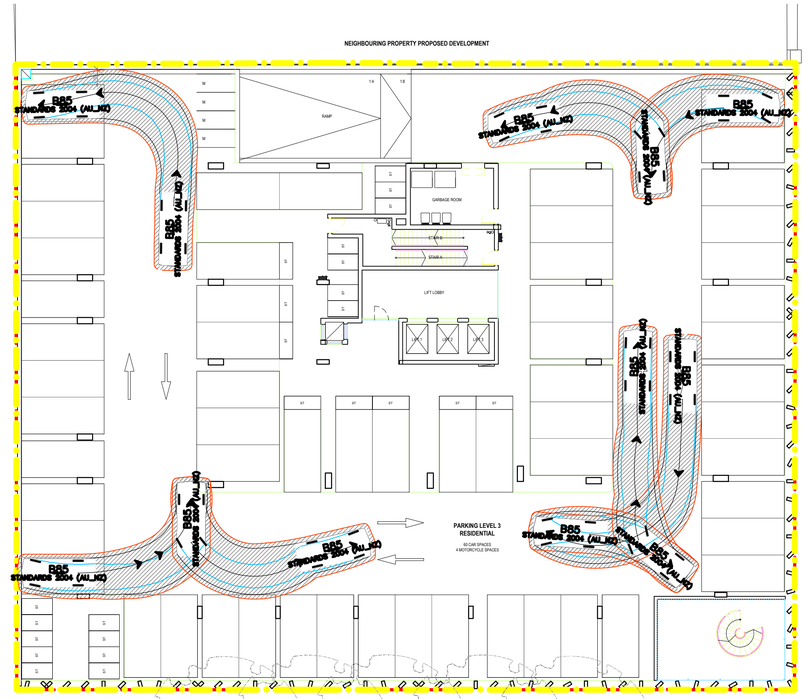
SWEPT PATH ANALYSIS

PROJECT No.	DRAWING No.	AMDT
7330-01	032	1



B85 PASSING B99

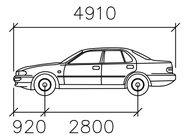
SCALE 1:200 AT A1



B85 ENTERING AND EXITING SPACES

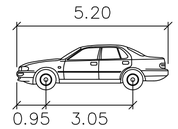
SCALE 1:200 AT A1

LEGEND



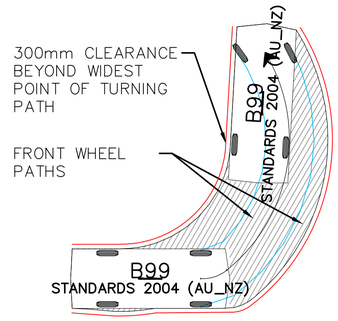
B85

	mm
Width	: 1870
Track	: 1770
Lock to Lock Time	: 6.0
Steering Angle	: 34.1



B99

	meters
Width	: 1.94
Track	: 1.84
Lock to Lock Time	: 6.0
Steering Angle	: 33.9



TURNING TEMPLATES B85 TURNS

A1 PLOT 2000 40 20 0 20 40 60 80 4000 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

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DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-033 LEVEL 3 SWEPT PATH.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT

WATERVUE

643-651 HUNTER STREET

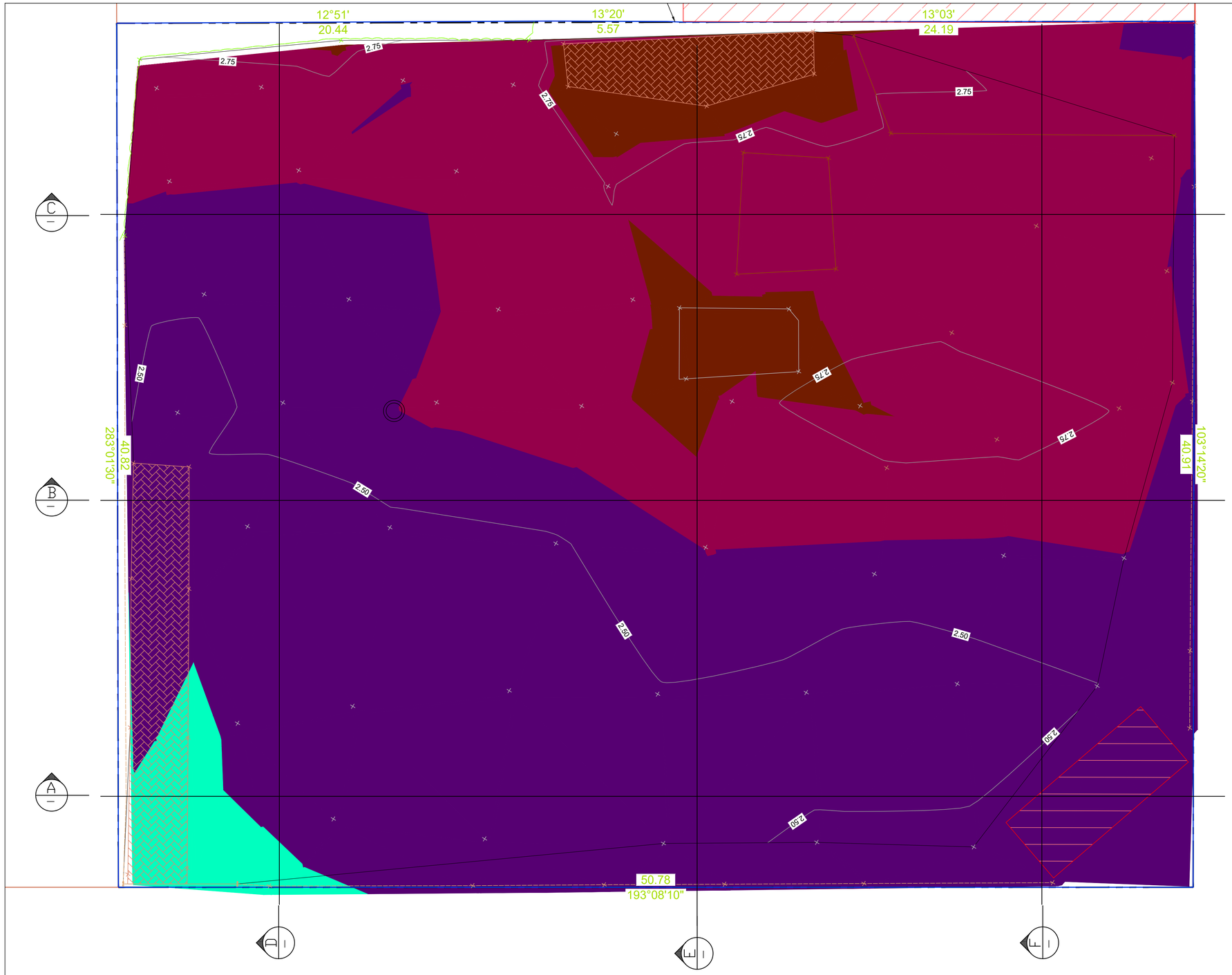
NEWCASTLE

DRAWING TITLE

LEVEL 3

SWEPT PATH ANALYSIS

PROJECT No.	DRAWING No.	AMDT
7330-01	033	1



PRE–DEVELOPMENT PMF STORAGE

FILL DEPTHS Lower_value		Upper_value	Colour
0	to	0.2	
-0.2	to	0	
-0.4	to	-0.2	
-0.6	to	-0.4	
-0.8	to	-0.6	
-1	to	-0.8	
-1.2	to	-1	
-1.4	to	-1.2	
-1.6	to	-1.4	
-1.8	to	-1.6	
-2	to	-1.8	

SITE PMF VOLUME CALCULATION

EXISTING SITE VOLUME = 3220m³ – PMF RL 4.2AHD

A1 PLOT 2000 40 20 0 20 40 60 80 4000 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

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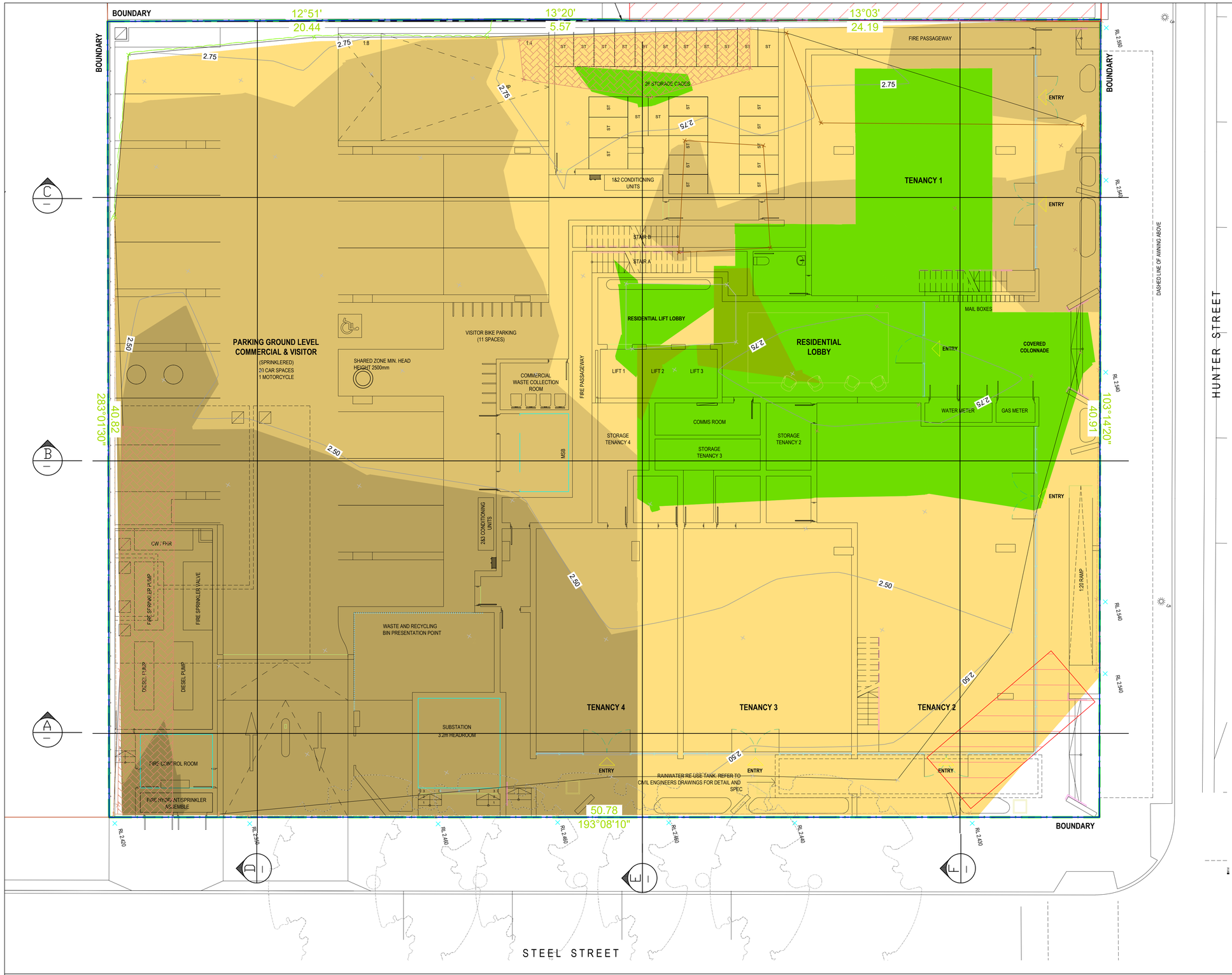
CAD FILE H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-040 PRE CONSTRUCTION PMF STORAGE.dwg
SCALE AS SHOWN
SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

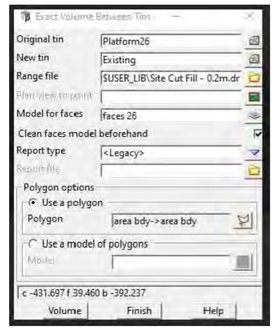
DRAWING TITLE
PRE-DEVELOPMENT
PMF STORAGE DEPTHS

PROJECT No. 7330-01
DRAWING No. 040
AMDT 1



POST–DEVELOPMENT PMF STORAGE

FILL DEPTHS Lower_value		Upper_value	Colour
0	to	0.2	
-0.2	to	0	
-0.4	to	-0.2	
-0.6	to	-0.4	
-0.8	to	-0.6	
-1	to	-0.8	
-1.2	to	-1	
-1.4	to	-1.2	
-1.6	to	-1.4	
-1.8	to	-1.6	
-2	to	-1.8	



SITE PMF VOLUME CALCULATION

EXISTING SITE VOLUME = 3220m³ – PMF RL 4.2AHD
ALLOWABLE SITE REDUCTION (PROPOSED DEVELOPMENT) = 20%
ALLOWABLE DEVELOPMENT FILL VOLUME = 644m³
PROPOSED DEVELOPMENT FILL VOLUME = 431.7m³

A1 PLOT 1:200 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

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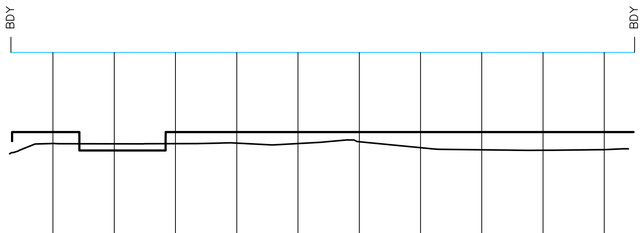
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-041 POST CONSTRUCTION PMF STORAGE.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
POST-DEVELOPMENT
PMF STORAGE DEPTHS

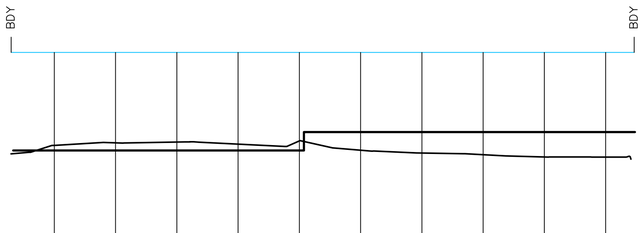
PROJECT No.	DRAWING No.	AMDT
7330-01	041	1



DATUM RL.1000

PRE DEVELOP LEVEL (EXIST)		2.712	2.708	2.711	2.719	2.712	2.742	2.645	2.611	2.602	2.613	
4.2m AHD LEVEL		4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	
POST DEVELOP LEVEL		2.900	2.600	2.900	2.900	2.900	2.900	2.900	2.900	2.900	2.900	
PEGGED CHAINAGE	0.000	5.000	10.000	15.000	20.000	25.000	30.000	35.000	40.000	45.000	50.000	53.112

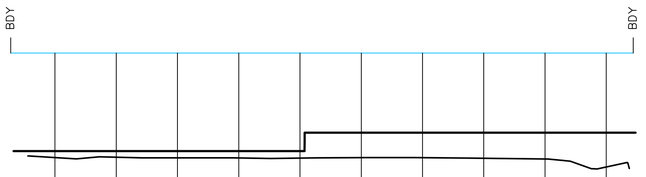
H 1:250
V 1:50 LONGITUDINAL SECTION - SECTION A-A



DATUM RL.1000

PRE DEVELOP LEVEL (EXIST)		2.682	2.724	2.736	2.702	2.756	2.604	2.557	2.530	2.494	2.492	
4.2m AHD LEVEL		4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	
POST DEVELOP LEVEL		2.600	2.600	2.600	2.600	2.600	2.900	2.900	2.900	2.900	2.900	
PEGGED CHAINAGE	0.000	5.000	10.000	15.000	20.000	25.000	30.000	35.000	40.000	45.000	50.000	53.112

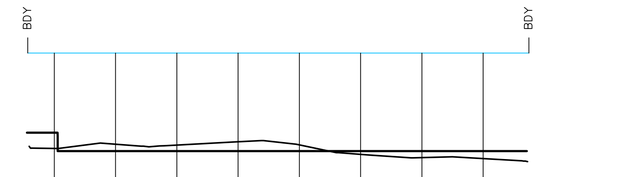
H 1:250
V 1:50 LONGITUDINAL SECTION - SECTION B-B



DATUM RL.1000

PRE DEVELOP LEVEL (EXIST)		2.495	2.500	2.490	2.489	2.486	2.493	2.493	2.482	2.471	2.342	
4.2m AHD LEVEL		4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200	
POST DEVELOP LEVEL		2.600	2.600	2.600	2.600	2.600	2.900	2.900	2.900	2.900	2.900	
PEGGED CHAINAGE	0.000	5.000	10.000	15.000	20.000	25.000	30.000	35.000	40.000	45.000	50.000	53.112

H 1:250
V 1:50 LONGITUDINAL SECTION - SECTION C-C



DATUM RL.1000

PRE DEVELOP LEVEL (EXIST)		2.643	2.713	2.699	2.753	2.702	2.547	2.493	2.478		
4.2m AHD LEVEL		4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200		
POST DEVELOP LEVEL		2.900	2.600	2.600	2.600	2.600	2.600	2.600	2.600		
PEGGED CHAINAGE	0.000	5.000	10.000	15.000	20.000	25.000	30.000	35.000	40.000	45.000	46.726

H 1:250
V 1:50 LONGITUDINAL SECTION - SECTION D-D

A1 PLOT 2000 40 20 0 20 40 60 80 4000 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
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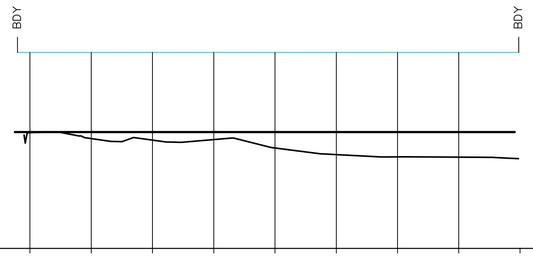
DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-045 FLOOD STORAGE SECTIONS SHEET 1.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
FLOOD STORAGE SECTIONS
SHEET 1

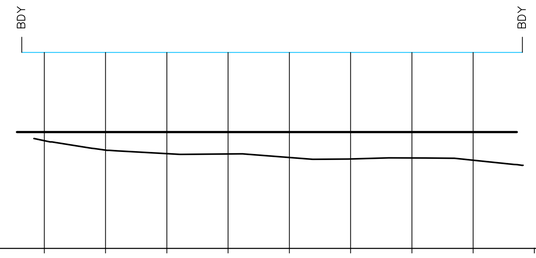
PROJECT No.	DRAWING No.	AMDT
7330-01	045	1



DATUM RL.1.000

PRE DEVELOP LEVEL (EXIST)		2.888	2.793	2.769	2.777	2.639	2.532	2.495	2.491		
4.2m AHD LEVEL		4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200		
POST DEVELOP LEVEL		2.900	2.900	2.900	2.900	2.900	2.900	2.900	2.900		
PEGGED CHAINAGE	0.000	5.000	10.000	15.000	20.000	25.000	30.000	35.000	40.000	45.000	46.726

H 1:250
V 1:50 LONGITUDINAL SECTION - SECTION E-E



DATUM RL.1.000

PRE DEVELOP LEVEL (EXIST)		2.758	2.605	2.547	2.541	2.485	2.461	2.477	2.439		
4.2m AHD LEVEL		4.200	4.200	4.200	4.200	4.200	4.200	4.200	4.200		
POST DEVELOP LEVEL		2.900	2.900	2.900	2.900	2.900	2.900	2.900	2.900		
PEGGED CHAINAGE	0.000	5.000	10.000	15.000	20.000	25.000	30.000	35.000	40.000	45.000	46.726

H 1:250
V 1:50 LONGITUDINAL SECTION - SECTION F-F

A1 PLOT 2000 40 20 0 20 40 60 80 4000 A3 PLOT

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.06.22	D.K

ARCHITECT
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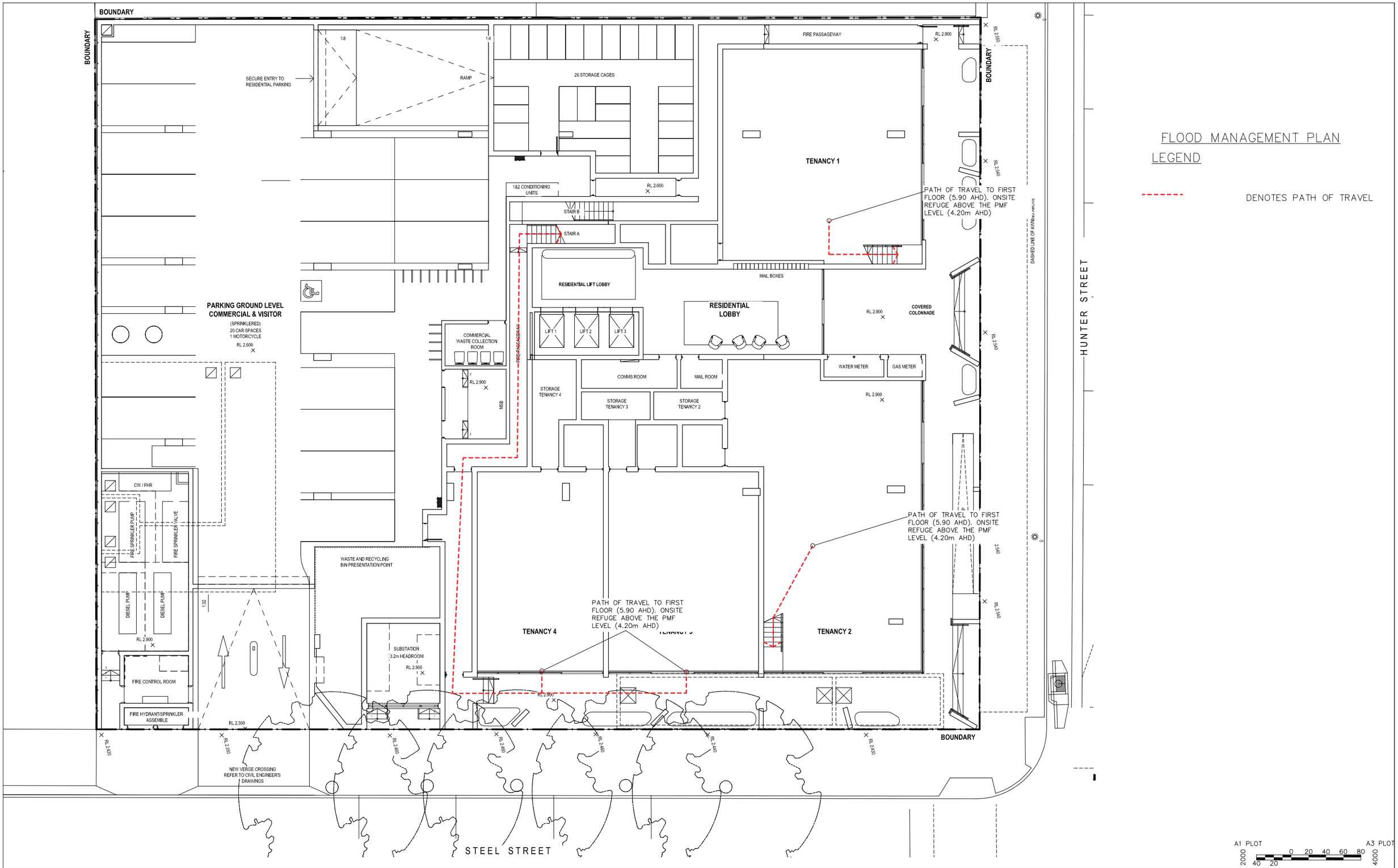
DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-046 FLOOD STORAGE SECTIONS SHEET 2.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
FLOOD STORAGE SECTIONS
SHEET 2

PROJECT No.	DRAWING No.	AMDT
7330-01	046	1



FLOOD MANAGEMENT PLAN LEGEND

DENOTES PATH OF TRAVEL

No.	AMENDMENT	APPROVED	DATE	AMENDED BY
1	ISSUE FOR DA APPLICATION	M.S	27.09.22	M.M.

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STEWART ARCHITECTURE

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CHECKED	M.S	DATE
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DRAWN BY	D.K	
CAD FILE	H:\7330 643-651 Hunter Street Newcastle\Acad\Current Drawings\Civil\7330-01-047 FLOOD EVACUATION GROUND FLOOR.dwg	
SCALE	AS SHOWN	SHEET No.

PROJECT
WATERVUE
643-651 HUNTER STREET
NEWCASTLE

DRAWING TITLE
GROUND FLOOR
EVACUATION PLAN

PROJECT No.	DRAWING No.	AMDT
7330-01	047	1

THE CITY OF NEWCASTLE

MUSIC-*link* Report

Project Details		Company Details	
Project:	7330 HUNTER STREET	**Company:**	INDESCO
Report Export Date:	27/09/2022	**Contact:**	INDESCO
Catchment Name:	MUSIC TEST	**Address:**	643-651 HUNTER STREET, NEWCASTLE NSW
Catchment Area:	0.207ha	**Phone:**	
Impervious Area*:	93.23%	**Email:**	MATHEW.MCRAE@INDESCO.COM.AU
Rainfall Station:	61078 WILLIAMTOWN		
Modelling Time-step:	6 Minutes		
Modelling Period:	1/01/1995 - 31/12/2008 11:54:00 PM		
Mean Annual Rainfall:	1125mm		
Evapotranspiration:	1735mm		
MUSIC Version:	6.3.0		
MUSIC-link data Version:	6.34		
Study Area:	Newcastle		
Scenario:	Newcastle		

* takes into account area from all source nodes that link to the chosen reporting node, excluding Import Data Nodes

Treatment Train Effectiveness		Treatment Nodes		Source Nodes	
Node: Post-Development Node	**Reduction**	**Node Type**	**Number**	**Node Type**	**Number**
Flow	54%	Rain Water Tank Node	1	Urban Source Node	2
TSS	94.4%	Generic Node	1		
TP	81.4%	GPT Node	2		
TN	81.4%				
GP	100%				

Comments

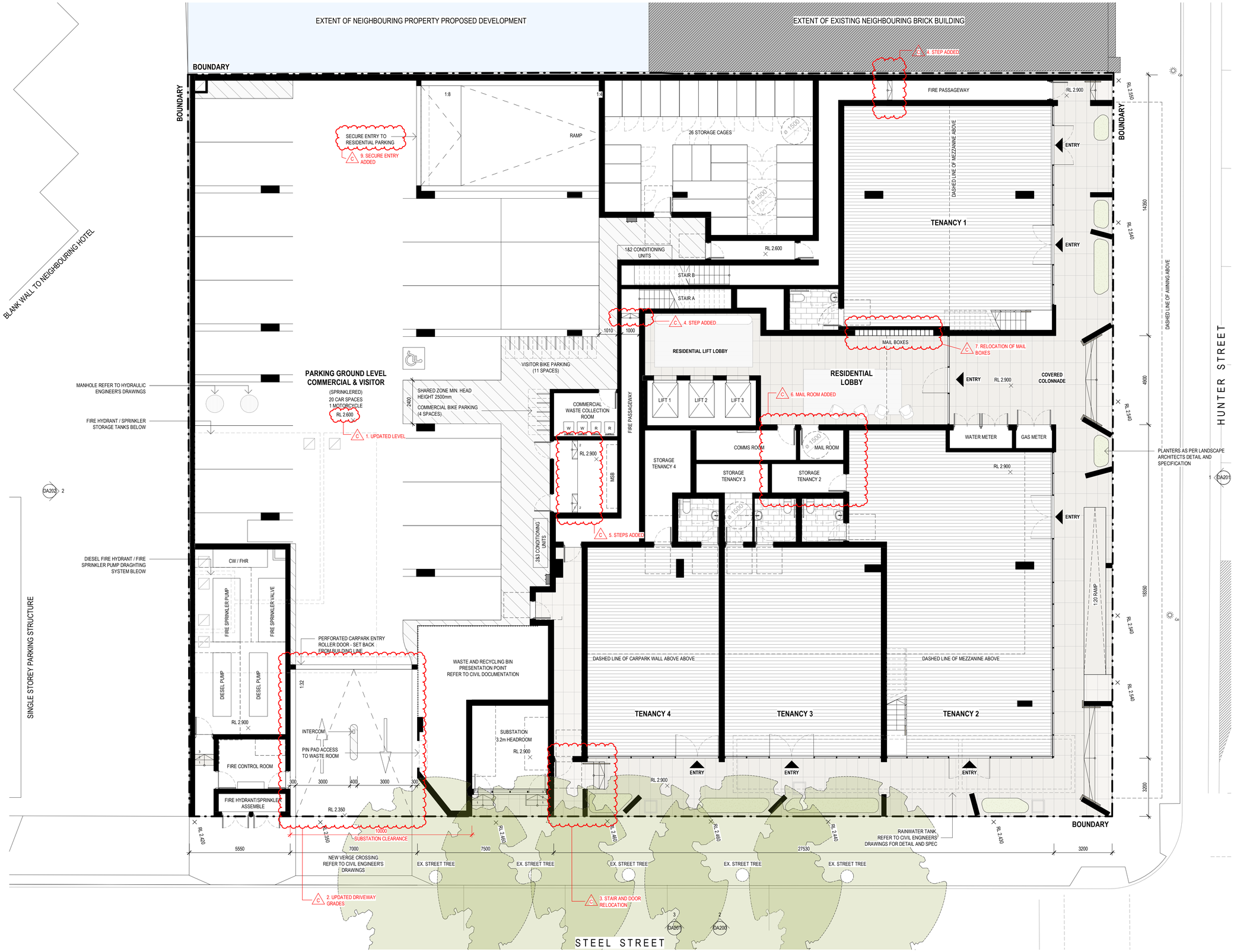
Passing Parameters

Node Type	Node Name	Parameter	Min	Max	Actual
GPT	1 x OceanGuard	Hi-flow bypass rate (cum/sec)	None	None	0.02
GPT	SPEL Stormsacks (1x)	Hi-flow bypass rate (cum/sec)	None	None	0.011
Post	Post-Development Node	% Load Reduction	None	None	54
Post	Post-Development Node	GP % Load Reduction	90	None	100
Post	Post-Development Node	TN % Load Reduction	45	None	81.4
Post	Post-Development Node	TP % Load Reduction	65	None	81.4
Post	Post-Development Node	TSS % Load Reduction	85	None	94.4
Rain	Rainwater Tank	% Reuse Demand Met	70	None	70.35
Urban	ROOFTOP (25mm)	Area Impervious (ha)	None	None	0.179
Urban	ROOFTOP (25mm)	Area Pervious (ha)	None	None	0
Urban	ROOFTOP (25mm)	Total Area (ha)	None	None	0.179
Urban	ROOFTOP GARD(12mm)	Area Impervious (ha)	None	None	0.014
Urban	ROOFTOP GARD(12mm)	Area Pervious (ha)	None	None	0.014
Urban	ROOFTOP GARD(12mm)	Total Area (ha)	None	None	0.028

Only certain parameters are reported when they pass validation

Appendix B

AMENDED ARCHITECTURAL PLANS (STEWART ARCHITECTURE)



PARKING REQUIRED - RESIDENTIAL

DWELLING TYPE	QUANTITY	DCP CAR PARKING RATE	TOTAL
SMALL (<75m²)	14	0.6	8.4
MEDIUM (75m² - 100m²)	29	0.9	26.1
LARGE (>100m²)	63	1.4	88.2
VISITORS	-	1 FOR THE FIRST 3 DWELLINGS + 1 FOR EVERY 5 THEREAFTER	22
	106		144.7

BICYCLE PARKING = 1 SPACE PER DWELLING	106
BICYCLE PARKING (VISITORS) = 1 SPACE PER 10 DWELLINGS	11
MOTORCYCLE PARKING = 1 SPACE PER 20 CAR SPACES	7

PARKING REQUIRED - NON-RESIDENTIAL (OFFICE)

PROPOSED NON-RESIDENTIAL GFA = 708.5m²

PARKING TYPE	DCP RATE	TOTAL
CARPARKING IN THE NEWCASTLE CITY CENTRE	1 SPACE PER 60m² OF GFA	11.8
BICYCLE PARKING (OFFICE)	1 SPACE PER 200m² OF GFA	4
MOTORCYCLE PARKING (OFFICE)	1 SPACE PER 20 CAR SPACES	1

PARKING REQUIRED - SITE TOTAL

CARS	MOTORCYCLES	BICYCLES
156.5	8	121

PARKING PROVIDED

LEVEL	CARS	MOTORCYCLES	BICYCLES
GROUND	20	1	15
P1 (LEVEL 1)	31	6	**
P2 (LEVEL 2)	60	1	**
P3 (LEVEL 3)	61	1	**
	172*	9	121

8. DISTRIBUTION UPDATED - TOTAL REMAINS THE SAME

NB: TANDEM PARKS INCLUDED IN PARKING COUNT
* OVER GENERATION OF 15 CARSPACES COUNTED IN GFA
** BICYCLE PARKING PROVIDED WITHIN STORAGE CAGES

STORAGE PROVISION

TYPE	REQ STORAGE	INTERNAL STORAGE	STORAGE CAGE	TOTAL
1A	6m³	4.5m³	1.5m³ min	6m³
1B	6m³	3m³	3m³ min	6m³
2A	8m³	4.5m³	3.5m³ min	8m³
2B	8m³	4.5m³	3.5m³ min	8m³
2C	8m³	4m³	4m³ min	8m³
3A	10m³	5m³	5m³ min	10m³
3B	10m³	5.5m³	4.5m³ min	10m³
P1	10m³	10m³	1.5m³ min	11.5m³
P2	10m³	12m³	1.5m³ min	13.5m³

DA RFIS

1. GROUND FLOOR CARPARKING LEVEL LOWERED BY 300MM
2. DRIVEWAY GRADES UPDATED TO SUIT UPDATED PARKING LEVEL
3. DOOR TO FIRE EGRESS CORRIDOR RELOCATED
4. STEP ADDED TO FIRE EGRESS PATH TO SUIT UPDATED PARKING LEVEL
5. STEPS AND PLATFORM ADDED TO MSB ROOM TO SUIT UPDATED PARKING LEVEL
6. MAIL ROOM ADDED TO RESIDENTIAL LOBBY
7. MAILBOXES RELOCATED INTO THE RESIDENTIAL LOBBY
8. MOTORCYCLE SPACE DISTRIBUTION ACROSS L1, L2 AND L3 UPDATED (TOTAL REMAINS THE SAME)
9. SECURE ENTRY ADDED AT BASE OF RESIDENTIAL CARPARK RAMP
10. GF TO L1 RAMP LENGTH UPDATED TO SUIT UPDATED GROUND FLOOR PARKING LEVEL
11. GARAGE ADDED TO L1 AND L2
12. STORAGE CAGE ARRANGEMENT UPDATED
13. LANDSCAPE COURTYARD ACCESS DOOR ADDED TO PODIUM LEVEL
14. POOL PERGOLA SHOWN IN ELEVATION

REV	DESCRIPTION	DATE
A	DRAFT DA	05.04.2022
B	ISSUE FOR DA	27.04.2022
C	DA RFIs	07.09.2022
D	DA RFI SUBMISSION	05.10.2022

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PROJECT **WATERVUE**
643-651 HUNTER STREET NEWCASTLE NSW 2300

PROJECT No. **1833**

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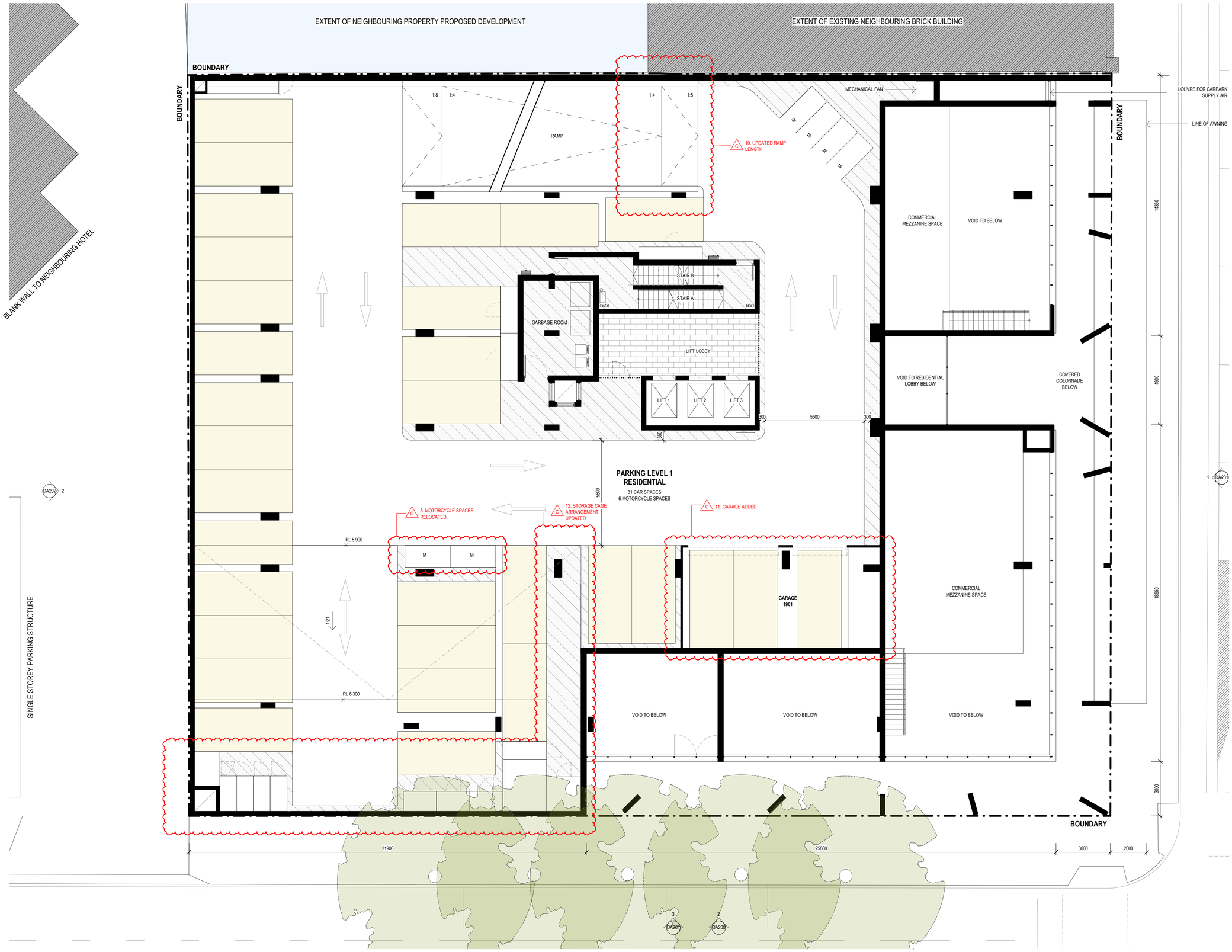
DRAWING No. **DA101**
DRAWING TITLE **GROUND FLOOR**
SCALE **1 : 100 @ A1**
DATE **2022**



DA RFIS

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2. DRIVEWAY GRADES UPDATED TO SUIT UPDATED PARKING LEVEL
3. DOOR TO FIRE EGRESS CORRIDOR RELOCATED
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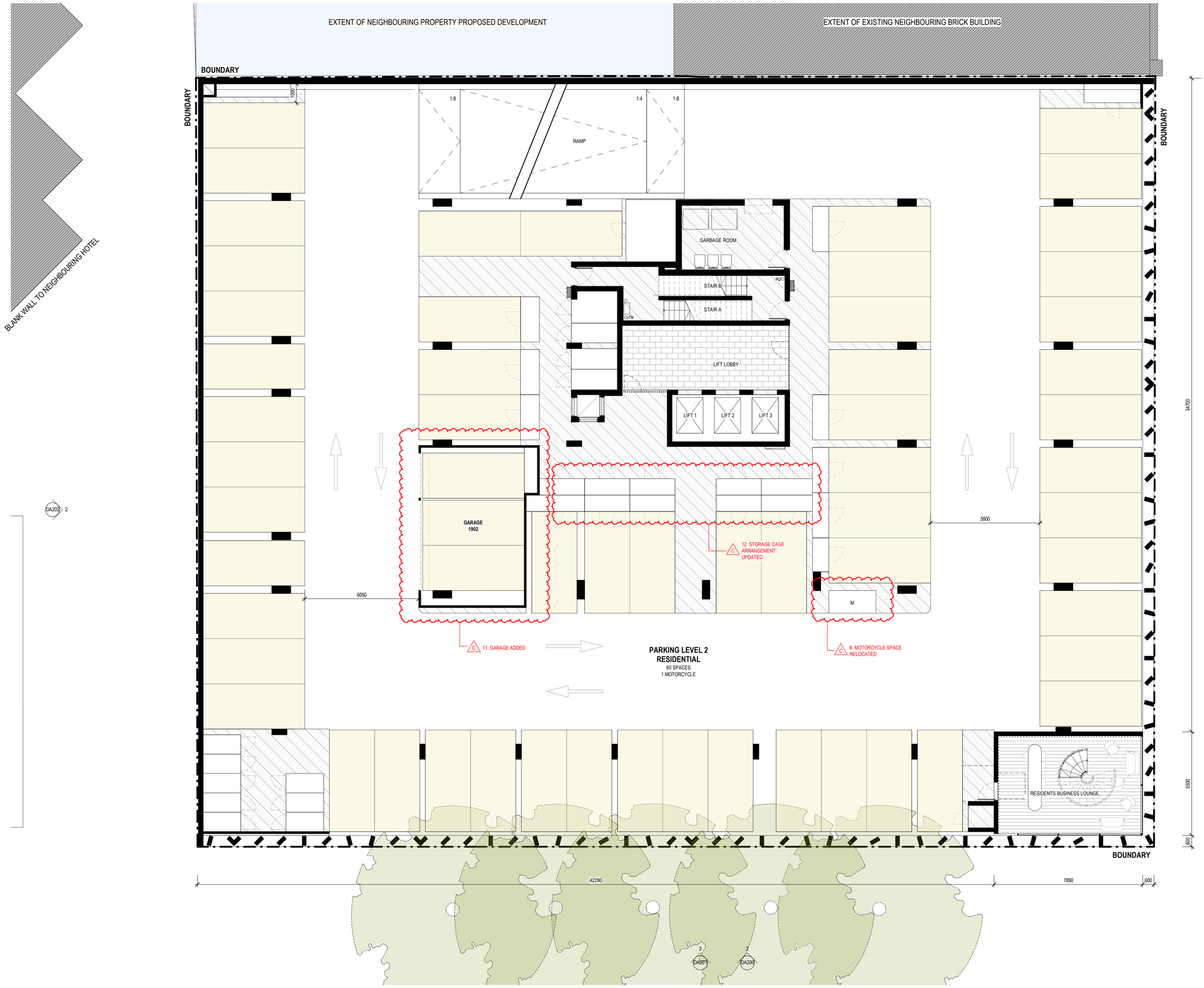
DRAWING No. **DA102**
DRAWING TITLE **PARKING LEVEL 1**
SCALE **1 : 100 @ A1**
DATE **2022**



DA RFIS

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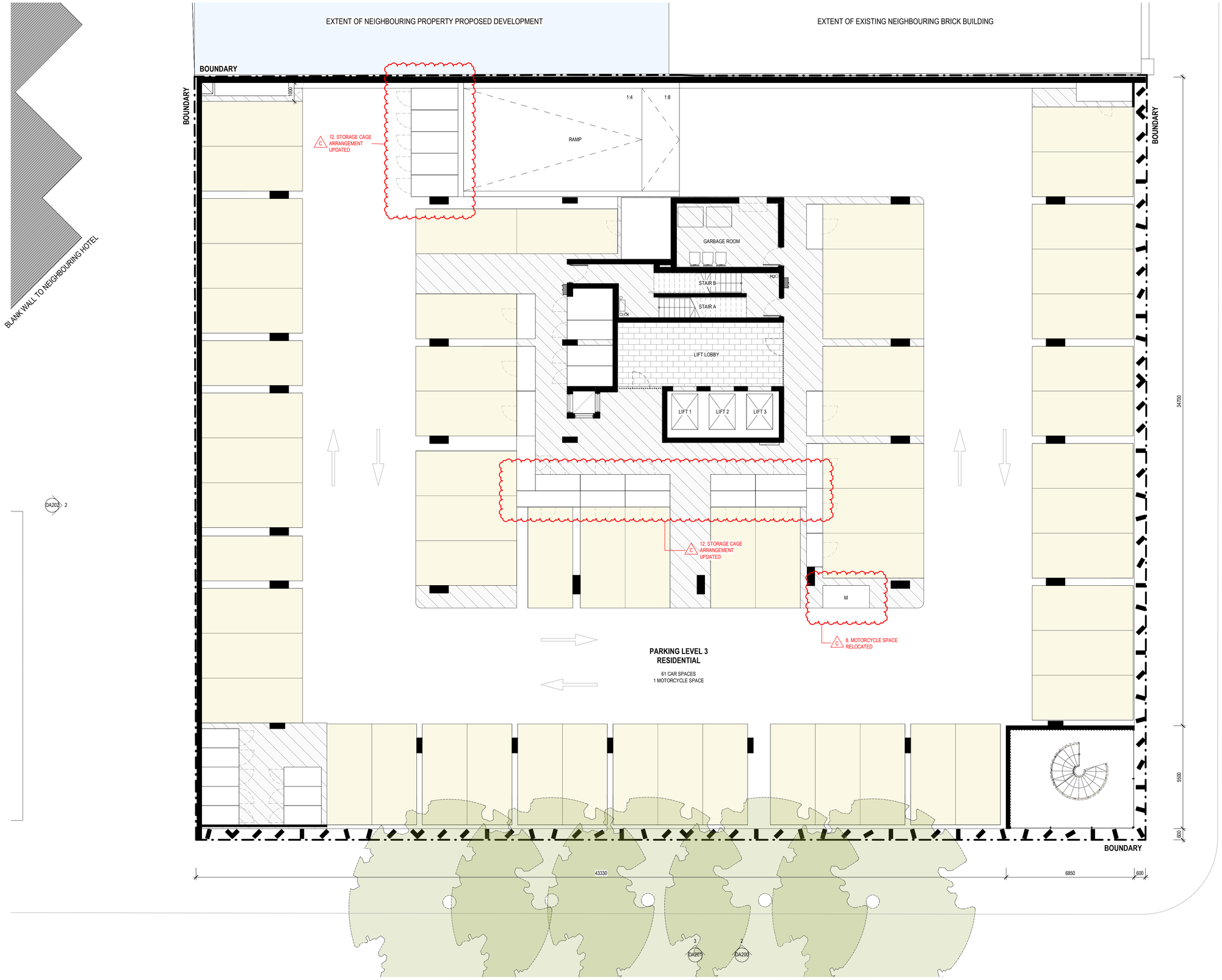
DRAWING No. **DA103**
DRAWING TITLE **PARKING LEVEL 2**
SCALE **1 : 100 @ A1**
DATE **2022**



DA RFIS

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DRAWING No. **DA104**
DRAWING TITLE **PARKING LEVEL 3**
SCALE **1 : 100 @ A1**
DATE **2022**

LIVABLE SILVER

UNIT TYPES 2A AND 2C ARE DESIGNED TO MEET LIVABLE HOUSING SILVER GUIDELINES

DA RFIS

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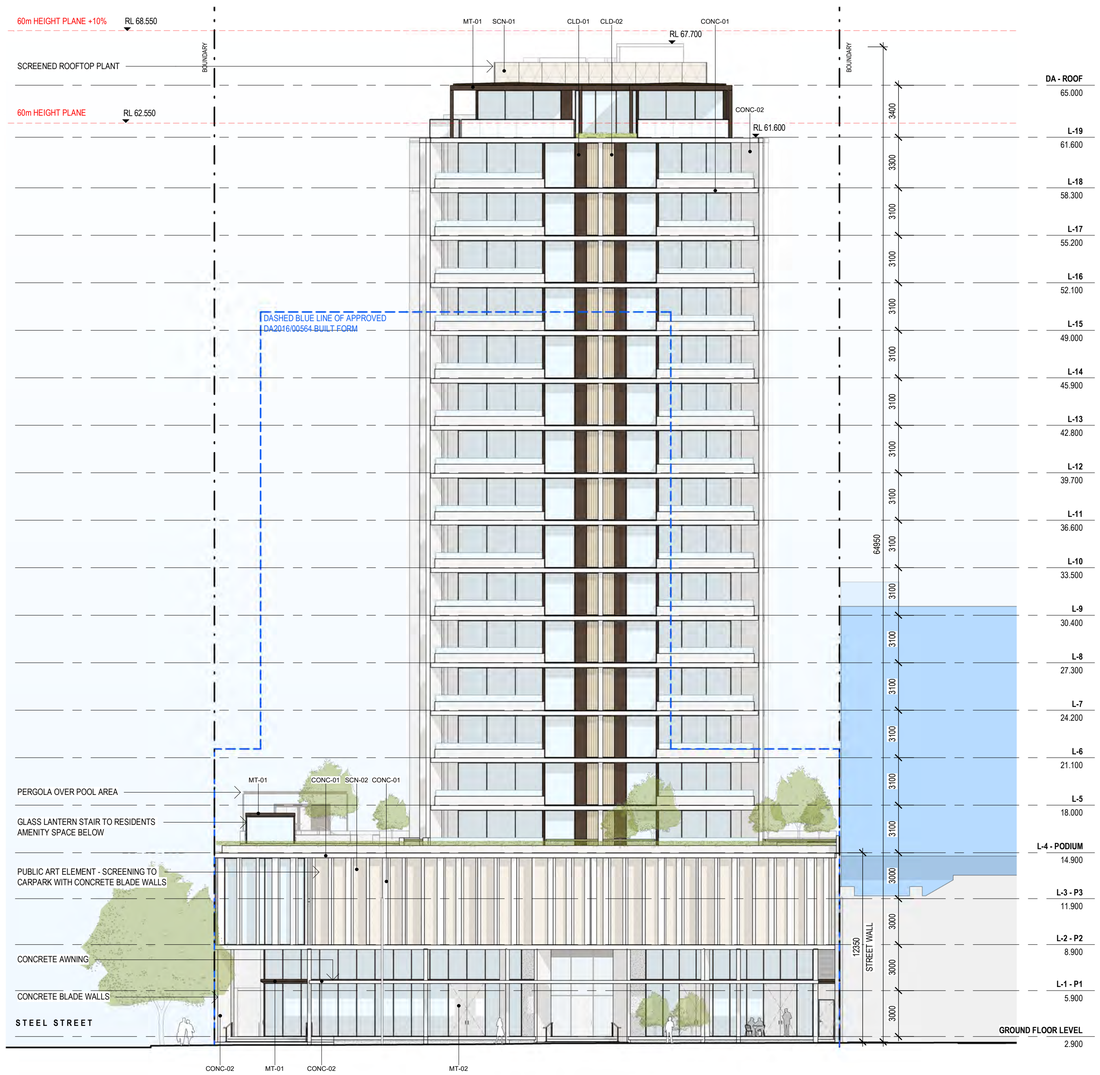
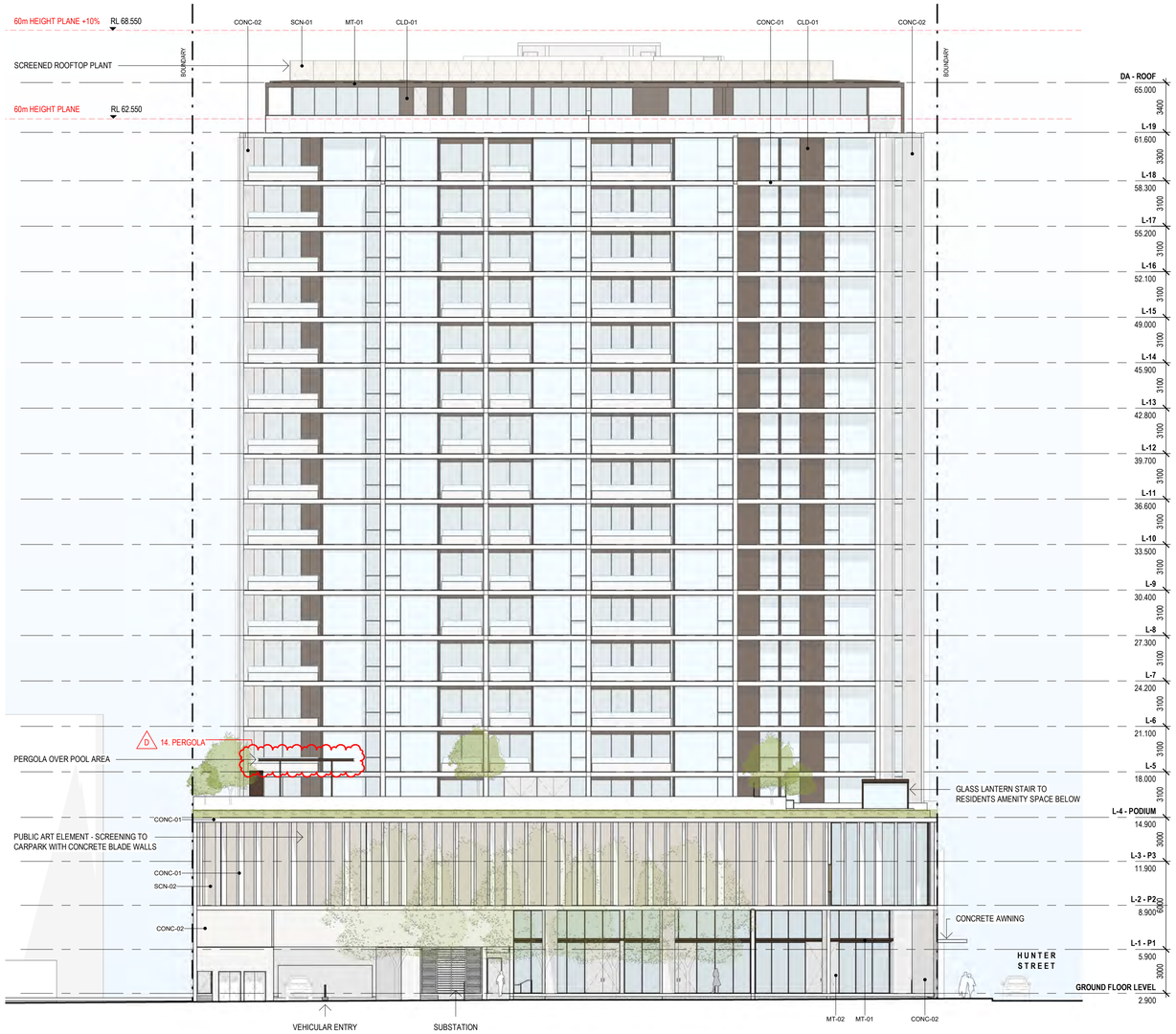
DRAWING No. **DA105**
DRAWING TITLE **PLAN - PODIUM**
SCALE **1 : 100 @ A1**
DATE **2022**



ELEVATION - NORTH - HUNTER STREET



ELEVATION - EAST - STEEL STREET

DA RFIS

1. GROUND FLOOR CARPARKING LEVEL LOWERED BY 300MM
2. DRIVEWAY GRADES UPDATED TO SUIT UPDATED PARKING LEVEL
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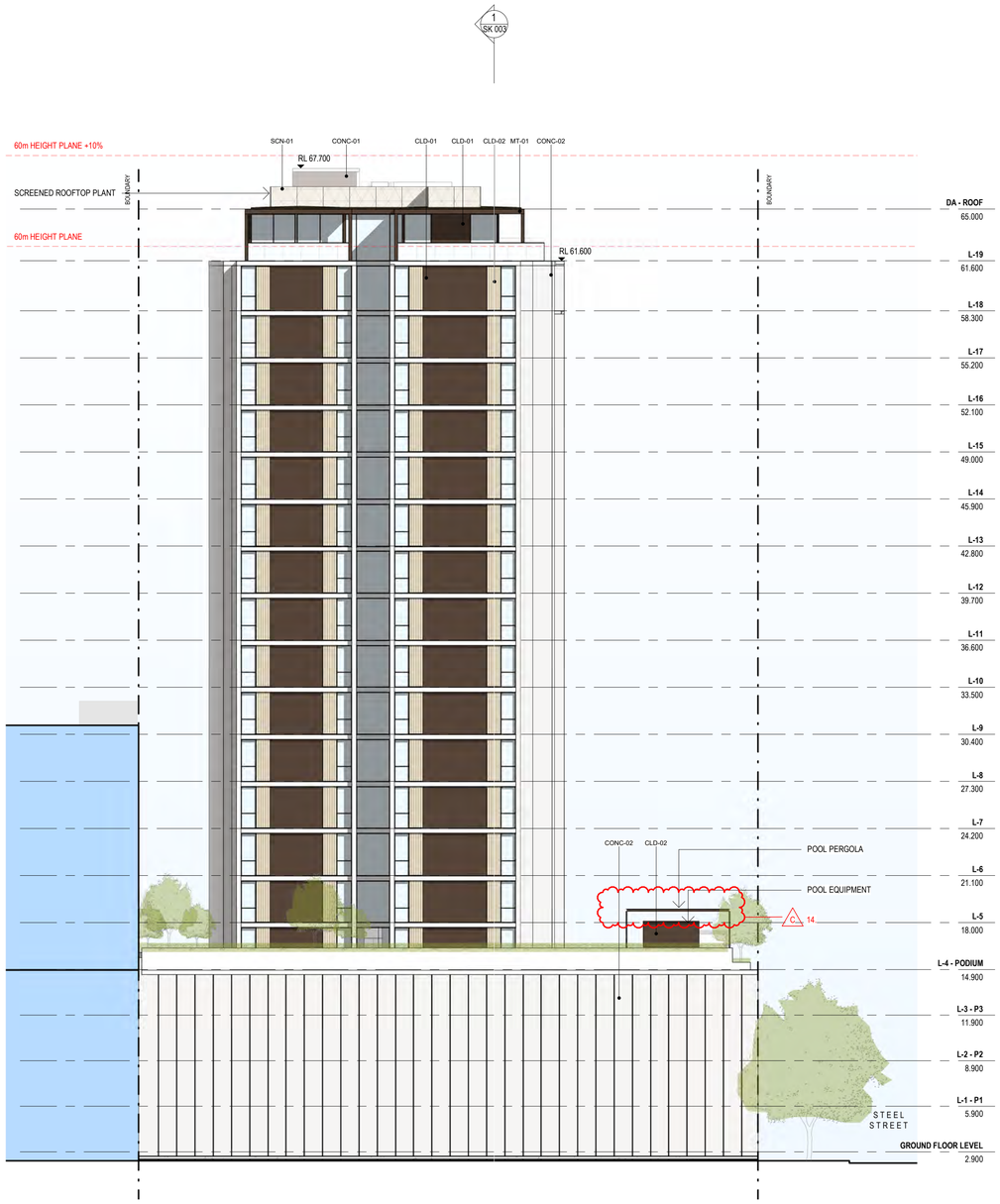
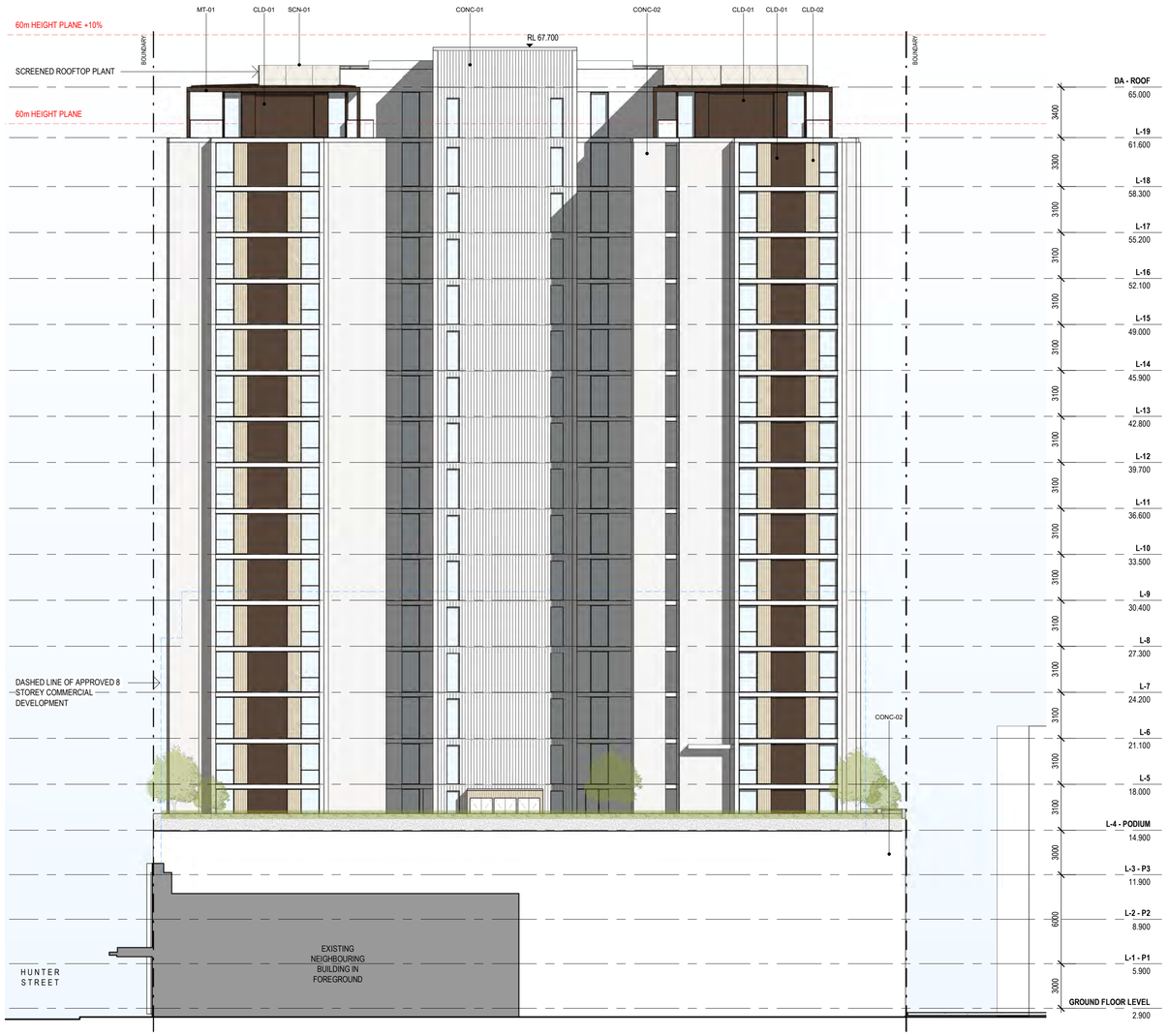
DRAWING No. **DA201**
DRAWING TITLE **ELEVATIONS - NORTH AND EAST**
SCALE **1 : 200 @ A1**
DATE **2022**



ELEVATION - SOUTH - TRAVEL LODGE



ELEVATION - WEST

DA RFIS

1. GROUND FLOOR CARPARKING LEVEL LOWERED BY 300MM
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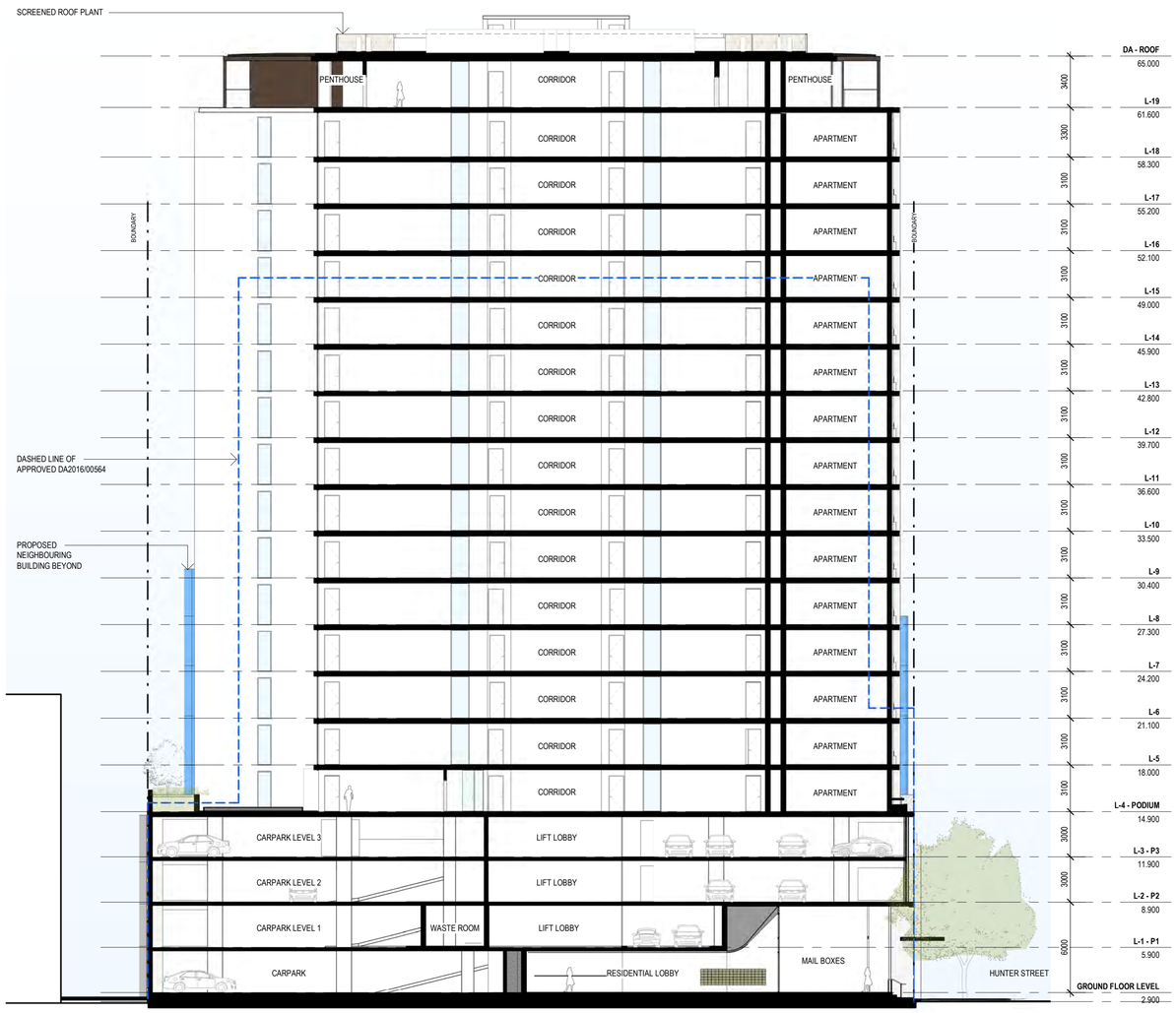
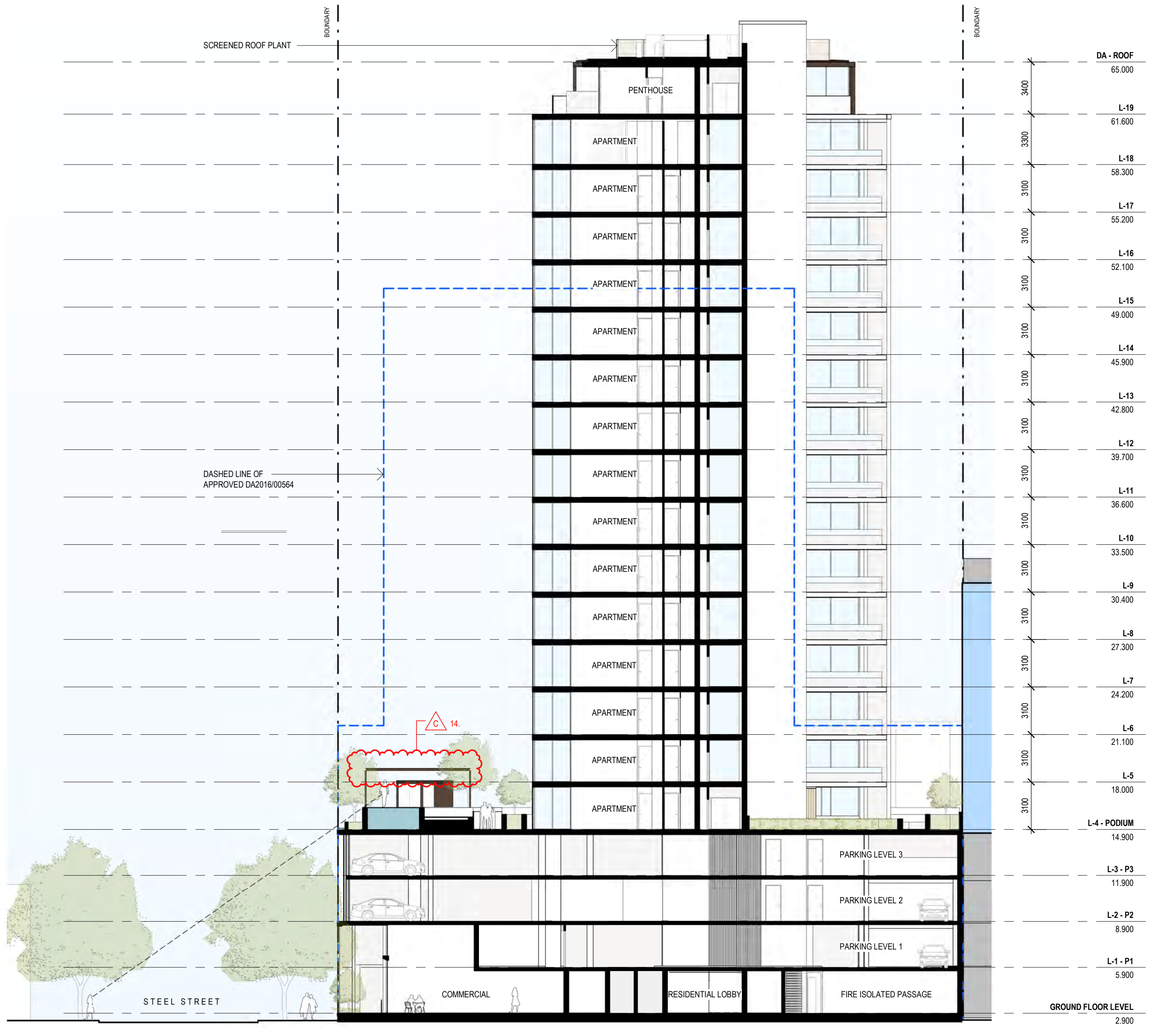
DRAWING No. **DA202**
DRAWING TITLE **ELEVATIONS - SOUTH AND WEST**
SCALE **1 : 200 @ A1**
DATE **2022**



SECTION 01



DA - SECTION 02

DA RFIS

1. GROUND FLOOR CARPARKING LEVEL LOWERED BY 300MM
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DRAWING No. **DA301**
DRAWING TITLE **SECTIONS**
SCALE **1 : 200 @ A1**
DATE **2022**